



Heritage Kitchener Committee Agenda

Tuesday, January 6, 2026, 4:00 p.m. - 6:00 p.m.

Council Chambers

City of Kitchener

200 King Street W, Kitchener, ON N2G 4G7

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Chair - J. Haalboom

Vice-Chair - N. Pikulski

Pages

1. Commencement

2. Disclosure of Pecuniary Interest and the General Nature Thereof

Members of Council and members of the City's local boards/committees are required to file a written statement when they have a conflict of interest. If a conflict is declared, please visit www.kitchener.ca/conflict to submit your written form.

3. Delegations

Pursuant to Council's Procedural By-law, delegations are permitted to address the Committee for a maximum of five (5) minutes.

3.1 Item 4.1. - C. Kirwan, MHBC Planning

4. Discussion Items

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Margaret Avenue, DSD-2025-011

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Mariah Blake
Committee Coordinator

REPORT TO: Heritage Kitchener

DATE OF MEETING: January 6, 2026

SUBMITTED BY: Garrett Stevenson, Director of Development and Housing Approvals,
519-783-8922

PREPARED BY: Victoria Grohn, Heritage Planner, 519-783-8912

WARD(S) INVOLVED: Ward 10

DATE OF REPORT: December 8, 2025

REPORT NO.: DSD-2026-011

SUBJECT: Draft Scoped Heritage Impact Assessment
30 Margaret Avenue

RECOMMENDATION:

For information.

BACKGROUND:

The Development and Housing Approvals Division is in receipt of a draft scoped Heritage Impact Assessment (HIA) prepared by MHBC and dated October 9, 2025. The heritage consultants were retained on behalf of Vanmar Developments Margaret Inc. who are the registered owners of the property municipally addressed as 30 Margaret Avenue.

The subject property is currently vacant and located within the Civic Centre Neighbourhood Heritage Conservation District (CCNHCD) and designated under Part V of the *Ontario Heritage Act* ("the Act"). Immediately to the east of the subject property is the c. 1935 Church of the Good Shepherd, located at 12 Margaret Avenue/116 Queen Street North. In addition to being designated under Part V of the Act, the church property is also individually designated under Part IV of the Act. Immediately to the west of the subject property is a residence built in the Queen Anne style and identified as a Group 'A' (or highly architecturally significant) building located at 54 Margaret Avenue. To the north and the rear are the properties fronting Ellen Street West and occupied by single detached dwellings. Properties to the south on the opposite side of Margaret Avenue are occupied with single detached dwellings as well as 4 and 18 storey apartment buildings.

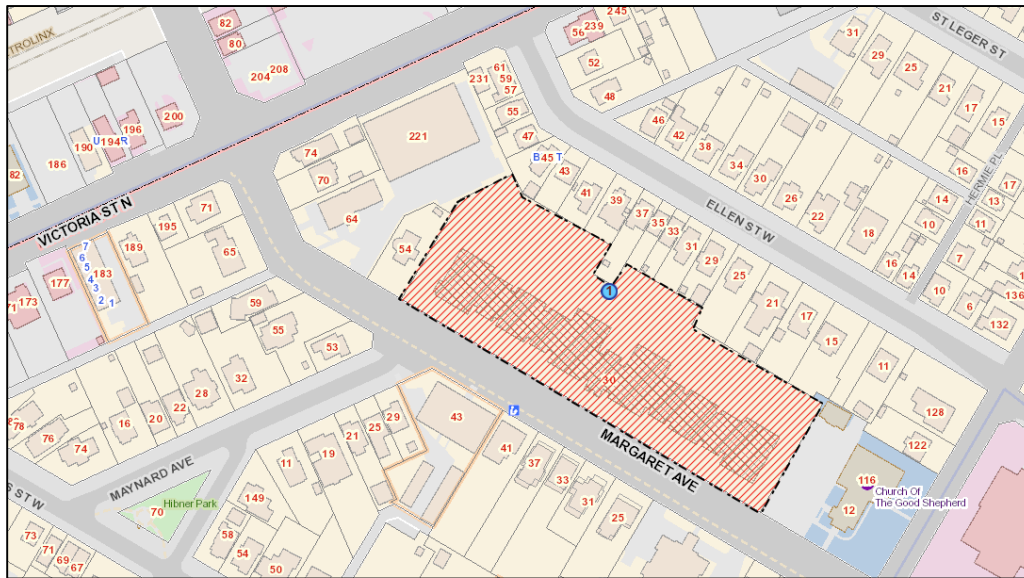


Figure 1: Location Map

The lands were previously occupied by several large estate residences located on separate lots. However, the residences were demolished, and the amalgamated property has been vacant since the late 1980s. This is the third proposal for development on the subject lands. Site Plan applications SP19/040/M/JVW and SP22/187/M/AP were submitted in 2019 and 2022 respectively, however the developments proposed as part of these applications did not proceed to final approval.

REPORT:

The current development proposal includes the construction of a 6-storey residential building comprised of 261 residential units. The site will contain one level of underground parking and surface parking to the north (rear) and west. The eastern portion of the property adjacent the Church of the Good Shepherd (12 Margaret Avenue/116 Queen Street North) is proposed as parkland, to be dedicated to the City of Kitchener as a public park.

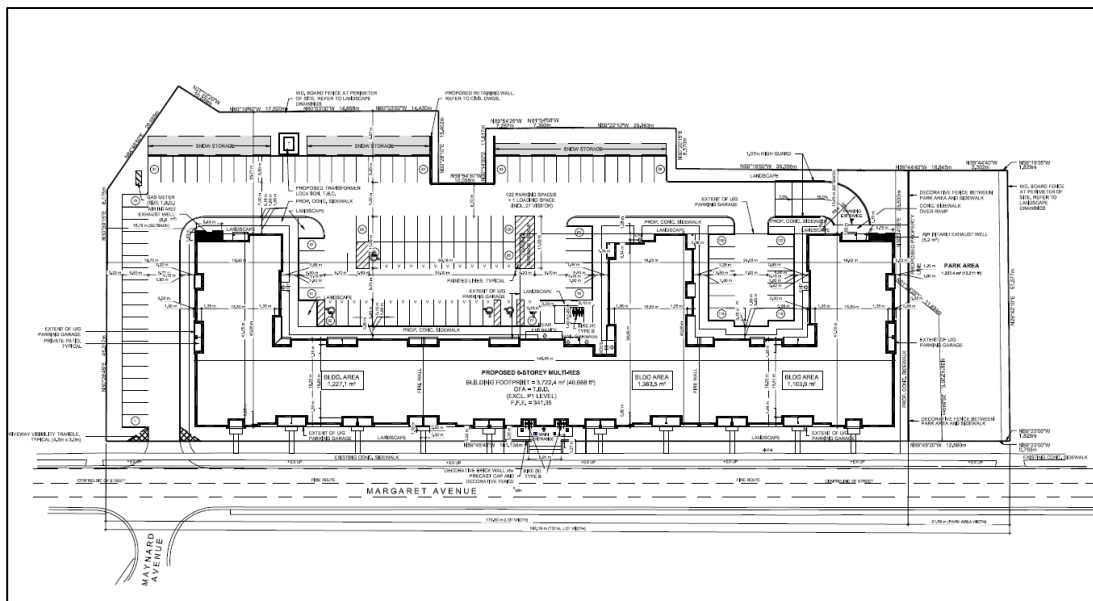


Figure 2: Proposed Site Plan



Figure 3: Rendering of Front Perspective

A Site Plan Application (SPF25/089/M) for the subject lands has been submitted to the City and is in circulation. The draft HIA was identified as a required component for a complete application due to the subject property being located within a heritage conservation district and adjacent to protected heritage property.

Impact Assessment

The draft HIA assessed the potential impacts of the proposed development on the adjacent properties to the east, west, and north, as well as potential impacts on the character of the CCNHCD. Based on the analysis conducted, the HIA concludes that the only identified impact to adjacent properties is for potential adverse impacts due to vibration during excavation and construction activities to the dwelling at 54 Margaret Avenue, which is located 23 metres away from the proposed development. The HIA also concludes that no adverse impacts are anticipated to the character of the CCNHCD due to the proposed development. The HIA does note, however, that sympathetic redevelopment of the subject lands is regarded as a beneficial impact for both the neighbourhood in terms of spatial organization, the overall historical land use patterns, and provides scenic infill in what is currently an unbalanced streetscape.

The HIA concludes that the proposed development is in general conformity with the relevant policies and guidelines of the CCNHCD Plan and preserves the character and streetscape of the neighbourhood. The proposed development does not, however, incorporate a 2+ metre setback, which is encouraged for any development greater than 3-4 storeys in the CCNHCD. The HIA speaks to the angular plane analysis and design features of the building to rationalize the proposal's nonconformity with this guideline. The HIA does not deem additional mitigation measures necessary to address this.

The HIA recommends the following mitigation and conservation measures:

- That a Vibration Monitoring Plan be prepared for 54 Margaret Avenue to ensure that the dwelling which is located 20 metres from the proposed development is not adversely impacted due to vibrations for the duration of excavation and construction activities.
- It is also recommended as a precautionary measure that construction fencing be erected around 54 Margaret Avenue to deter dust and debris and any accidental damage that could occur. It would also be encouraged that points of entry to the site during construction avoid this property, if possible, and that the storage of material and equipment be located away from the immediate area of the adjacent dwelling.

Additionally, the following measures are encouraged:

- That the park be named after a previous landowner (i.e. William and Margaret Young, D.S. Bowlby, Dr. Cornell, Albert Augustine, Kaufman family) in order to honour the former historical associations of the subject lands; and
- That the proposed tree plantings along Margaret Avenue be of appropriate native species in order to enhance the character of the streetscape and neighbourhood.

At this time, Heritage Planning staff are seeking comment from Heritage Kitchener which will be taken into consideration as part of staff's review of the HIA and processing of the related Planning Act application. While the Site Plan Review Committee meeting will have already taken place prior to the January 6, 2026 Heritage Kitchener committee meeting, there is still opportunity for the committee to provide comment and feedback as Heritage Planning staff works through the finalization of the HIA and any heritage-related conditions of approval. The applicant's heritage consultant will be at the January 6, 2026 meeting to answer any questions the Committee might have. A motion or recommendation to Council will not be required at the January meeting.

A copy of the HIA is included as Attachment A to this report.

STRATEGIC PLAN ALIGNMENT:

This report supports the delivery of core services.

FINANCIAL IMPLICATIONS:

Capital Budget – The recommendation has no impact on the Capital Budget.

Operating Budget – The recommendation has no impact on the Operating Budget.

COMMUNITY ENGAGEMENT:

INFORM – This report has been posted to the City's website with the agenda in advance of the Heritage Kitchener committee meeting.

PREVIOUS REPORTS/AUTHORITIES:

- [Ontario Heritage Act, R.S.O 1990](#)

APPROVED BY: Justin Readman, General Manager of Development Services

ATTACHMENTS:

Attachment A – Draft Scoped Heritage Impact Assessment prepared by MHBC dated October 9, 2025

PREPARED FOR:

Vanmar Developments Margaret Inc.

Heritage Impact Assessment

30-40 Margaret Avenue

File no. 15202U

9, October 2025

Your Vision

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CAHP-Intern

Author, Fieldwork

Paul Jae Woong Lee *Technician*

Map Figures

Acknowledgement of Indigenous Communities

This Cultural Heritage Impact Assessment acknowledges that the subject property located at 30-40 Margaret Avenue, Kitchener is situated in the traditional territory of Haudenosaunee, Anishnawbe, Attiwonderonk (Neutral) nations. These lands are acknowledged as being associated with the following treaties:

- *The Simcoe Patent- Treaty 4, 1793*
- *Haldimand Treaty*

This document takes into consideration the cultural heritage of indigenous communities, including their oral traditions and history when available and related to the scope of work.

Other Acknowledgements

This report acknowledges the assistance provided by City of Kitchener Planning Staff, the Waterloo Historical Society, the Grace Schmidt Room in the Kitchener Public Library and the Waterloo Region Museum.

Owner

Vanmar Developments Margaret Inc.
c/o Paul Leveck
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Cambridge ON N3E 0B1

Executive Summary

The City of Kitchener requested a scoped Heritage Impact Assessment for the proposed development on the subject lands located at 30-40 Margaret Avenue, City of Kitchener, Ontario. This report assessed the impact that the proposed development may have on the Civic Centre Neighbourhood Heritage Conservation District, including any potential impact to the individually designated property located at 12 Margaret Avenue/ 116 Queen Street (the Church of the Good Shepherd).

In conclusion, the following impacts have been identified:

- Beneficial impact with regard to the sympathetic redevelopment of the subject lands which is anticipated to be beneficial for both the neighbourhood in terms of spatial organization and the overall historical land use patterns. Additionally, the proposed development will provide scenic infill in what is currently an unbalanced streetscape.
- Potential adverse impact to 54 Margaret Avenue with regard to land disturbances which may result in vibration during excavation and construction activities.

Additionally, the proposed development is generally in conformity with the relevant policies of the CCNHCD Plan and preserves the character and streetscape of the neighbourhood.

Where the proposal does not conform is with regard to the following guidelines:

- The Margaret Avenue Site/Area Specific Design Guidelines encourage building step backs of 2+ metres for any development greater than 3-4 storeys in height to minimize the impact of new development on the pedestrian environment of the street. The proposed development is 6 storeys and does not incorporate a 2+ metre step back. However, the Angular Plane Analysis indicates that positive access to sunlight and sky views is anticipated to remain available while maintaining a shallow setback for a comfortable pedestrian experience. Additionally, design features have been incorporated which are intended to preserve the pedestrian environment of the street. These include the separation of the building into several distinct visual units via recessed alcoves, the variation in material along the front façade which reduces massing towards the street, the use of limestone and red brick is consistent with the residential character of surrounding historic dwellings, and the incorporation of a neutral colour palette. No additional mitigation measures are deemed necessary.

The following mitigation and conservation measures are recommended:

- That a Vibration Monitoring Plan be prepared for 54 Margaret Avenue to ensure that the dwelling which is located 20 metres from the proposed development is not

adversely impacted due to vibrations for the duration of excavation and construction activities.

- It is also recommended as a precautionary measure that construction fencing be erected around 54 Margaret Avenue to deter dust and debris and any accidental damage that could occur. It would also be encouraged that points of entry to the site during construction avoid this property, if possible, and that the storage of material and equipment be located away from the immediate area of the adjacent dwelling.

In addition to the above, it is encouraged that the park be named after a previous land owner (i.e. William and Margaret Young, D. S. Bowlby, Dr. Cornell, Albert Augustine, Kaufman family) in order to honour the subject lands former historical associations.

It is also encouraged that the landscaping incorporate tree plantings of appropriate species along Margaret Avenue in order to enhance the character of the streetscape and neighbourhood. Any new trees should be indigenous to the area.

1.0 Introduction

1.1 Background

MHBC was retained to undertake a scoped Heritage Impact Assessment (HIA) for the proposed development located at 30-40 Margaret Avenue, City of Kitchener hereafter referred to as the 'subject lands.'

The subject lands are located within the Civic Centre Neighbourhood, adjacent to the downtown core of the City of Kitchener. In November 2006, a heritage conservation district study was completed on the Civic Centre Neighbourhood and the following year, in August 2007, the *Civic Centre Neighbourhood Heritage Conservation District Plan* (CCNHCD) was established to regulate the designated district. The subject lands are located within CCNHCD and therefore, designated under Part V of the *Ontario Heritage Act* ("OHA"). The subject lands are currently vacant; formerly there were seven (7) dwellings on the subject lands, however, all dwellings were demolished in the late 1980s and early 1990s. As such, there is no protected property on the subject lands as defined by the OHA and *Provincial Planning Statement* (PPS 2024).

The purpose of this scoped HIA is to evaluate the proposed development in terms of potential impacts to cultural heritage resources located adjacent to the property and to the overall CCNHCD. There are 17 adjacent properties to the subject lands including: 12, 54 & 64 Margaret Avenue, 116 Queen Street North and 15, 17, 21, 25, 29, 31, 33, 35, 37, 39, 41, 43 & 45 Ellen Street West.

The adjacent, contiguous property located at 12 Margaret Avenue/ 116 Queen Street North (Church of the Good Shepherd) is designated under Part IV and is a protected property under the OHA. The other adjacent properties located in the CCNHCD with the exception of 54 Margaret Avenue, however, are not listed under 'Group A' in the District, meaning that they are not considered to have high cultural heritage value.

This report evaluates the proposal in the context of the City's policy framework and Provincial policy. It also uses previous reports including: a scoped HIA completed by The Land Plan Collaborative Inc. (2013), an HIA completed by MHBC in 2019 and subsequent Cultural Heritage Protection Plan (CHPP) (2020).

1.2 Methodology

The methodology of this report is based on the Terms of Reference provided by the City of Kitchener for the Scoped HIA for development on the subject lands (see **Appendix A**). The City of Kitchener's Heritage Planner requires the following content for this scoped Heritage impact Assessment:

- Present owner information;
- A written description of the subject lands to include: current photographs of each elevation of the buildings, photographs of identified heritage attributes and a site plan drawn at an appropriate scale to understand the context of the buildings and site details. Documentation shall also include where available, current floor plans, and historical photos, drawings or other available and relevant archival material¹;
- An outline of proposed development, its context and how it will impact the properties (subject property and if applicable adjacent protected heritage properties⁰ including buildings, structures, and site details including landscaping. In particular, the potential visual and physical impact of the proposed work on the identified heritage attributes of the properties shall be assessed.
- Options shall be provided that explain how the significant cultural heritage resources may be conserved. Methods of mitigation may include, but are not limited to, preservation/conservation in situ, adaptive re-use, integration of all or part of the heritage resource, relocation. Each mitigative measure should create a sympathetic context for the heritage resource.
- A summary of applicable heritage conservation principles and how they will be used must be included. Conservation principles may be found in online publications such as: the *Standards and Guidelines for the Conservation of Historic Places in Canada* (Parks Canada); *Eight Guiding Principles in the Conservation of Built Heritage Properties* (Ontario Ministry of Tourism, Culture and Sport); and, the *Ontario Heritage Tool Kit* (Ontario Ministry of Tourism, Culture and Sport).
- Proposed repairs, alterations and demolitions must be justified and explained as to any loss of cultural heritage value and impact on the streetscape/neighbourhood context.
- Recommendations shall be as specific as possible, describing and illustrating locations, elevations, materials, landscaping, etc.
- The qualifications and background of the person(s) completing the Heritage Impact Assessment shall be included in the report. The author(s) must demonstrate a level of professional understanding and competence in the heritage conservation field of study. The report will also include a reference for any literature cited, and a list of people contacted during the study and referenced in the report.
- The summary statement should provide a full description of:

¹ There are no buildings or structures on-site, however, the property has been documented with photographs.

- The significance and heritage attributes of the subject properties.
- The identification of any impact the proposed repair, alteration or development will have on the heritage attributes of the subject properties, including adjacent protected heritage property.
- An explanation of what conservation or mitigative measures, or alternative development, or site alteration approaches are recommended.
- Clarification as to why specific conservation or mitigative measures, or alternative development or site alteration approaches are not appropriate.

It is important to note that the subject properties do not include any buildings or structures or particular landscape features and therefore, the analysis is based on the heritage attributes of the adjacent protected heritage property and of the Civic Centre Neighbourhood Heritage Conservation District Plan.

1.3 Approach

A site visit was conducted by MHBC Staff on April 8th, 2025 to document the current state of the subject lands. This report reviews the following documents:

- HIA by The Land Plan Collaborative Inc. (2008);
- Scoped HIA by The Land Plan Collaborative Inc. (2013);
- Scoped HIA by MHBC (2019) and Cultural Heritage Protection Plan (2020);
- *City of Kitchener's Official Plan: A Complete and Healthy Kitchener* (2014);
- *Civic Centre Neighbourhood Heritage Conservation District Study* (2006);
- *Civic Centre Neighbourhood Heritage Conservation District Plan* (2007);
- *The Planning Act*;
- *Provincial Planning Statement* (2024);
- *The Ontario Heritage Act*;
- *The Ontario Heritage Tool Kit* (Ministry of Citizenship and Multiculturalism);
- *Standards and Guidelines for the Conservation of Historic Places in Canada* (Second Edition);
- *Region of Waterloo Practical Conservation Guide for Heritage Properties*.

This HIA assesses the proposed development in terms of its compliance with these policies, guidelines and recommendations and assesses any impacts of the development on cultural heritage value and attributes of adjacent resources. In particular, this report assesses the impact that the proposed development will have on the key heritage attributes of the Civic Centre Neighbourhood Heritage Conservation District.

Key heritage attributes of the CCNHCD are outlined in 2.6 (Section 2.4) of the CCNHCD Plan (2007). These attributes are the defining factors of the heritage district. Key attributes are described in the physical geography and configuration of similar original buildings and their

direct relationship to surrounded businesses and factories and original land development pattern of the City. It also describes the progression of architecture and building technology exhibited by houses and other buildings, in particular the unique form of Queen Anne Style specific to the City of Kitchener dubbed "Berlin Vernacular". 'Fine' examples of these are categorized by Group 'A' or 'B'; three quarters of the properties (147 properties) are categorized as Group 'C' which exhibit the standard construction and are in a condition of repair and potential restoration. The following is a list of the key attributes of the CCNHCD as defined by the District Plan (2007) on 2.7:

- Its association with important business and community leaders during a key era of development in Kitchener;
- A wealth of well maintained, finely detailed buildings from the late 1800s and early 1900s that are largely intact;
- A number of unique buildings, including churches and commercial buildings, which provide distinctive landmarks within and at the edges of the District;
- A significant range of recognizable architectural styles and features including attic gable roofs, decorative trim, brick construction, porches and other details, associated with the era in which they were developed;
- The presence of an attractive and consistent streetscape linked by mature trees, grassed boulevards and laneways;
- Hibner Park, Kitchener's second oldest city park, as a green jewel in the centre of the District.

1.4 Description of Subject Lands

The subject lands are located centrally within the City of Kitchener and bound by Margaret Avenue to the south, Ellen Street West to the north, Queen Street North to the east and Victoria Street North to the west. The subject lands are currently vacant and include open space, construction fencing, a gravel pad, and a concrete retaining wall. Currently, there is one vehicular entry to access the subject lands off of Margaret Avenue. The subject lands are surrounded by residential properties to the west, north and south and a place of worship (institutional) to the east.



Figure 1: Map of subject lands and surrounding areas; subject lands are identified by the red dotted line (Source: OpenStreetMap, 2025)

1.5 Description of Surrounding Area

The subject lands are located in the Civic Centre Neighbourhood, adjacent to the downtown core of the City of Kitchener. To the north of the subject lands are two storeys, residential dwellings along Ellen Street West and to the east is the Church of the Good Shepherd. Further to the east is the contemporary building of the Centre in the Square. To the west of the property is the heritage home at 54 Margaret Avenue, which is the last remaining house, aside from 70 Margaret Avenue, from the original row of houses on the north side of Margaret Avenue in the early 20th century (see **Figure 2**).



Figure 2: View of the surrounding area (Source: Google Earth Pro and MHBC, 2025)

The properties to the south of the subject land include both heritage homes as well as residential apartment buildings. There is a four-storey apartment building located at 43 Margaret Avenue and an 18-storey apartment building at 11 Margaret Avenue/ 100 Queen Street North, (The Queen Margaret Apartments).

1.6 Heritage Status

1.6.1 Subject Lands

The subject lands are not 'listed' (non-designated) or designated under Part IV of the *Ontario Heritage Act*, however, they are designated under Part V of the *Ontario Heritage Act* within the *Civic Centre Neighbourhood Heritage Conservation District* (2006) (see **Figure 3**). The property does not include any potential built heritage resources as it is vacant. There are special policies within the HCD Plan (2006) that address the subject lands and future redevelopment of the lands.

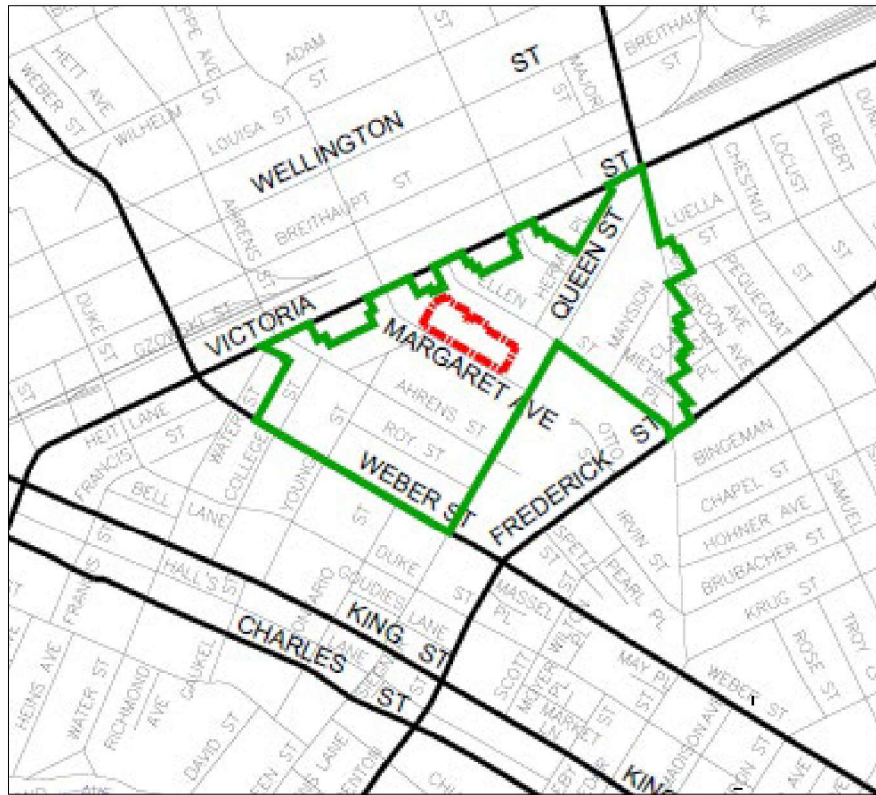


Figure 3: Map of subject lands and surrounding areas; subject lands are identified by the red line; green line indicates the CCNHCD boundaries (Source: CCNHCD Plan, 2007).

1.6.2 Adjacent Heritage Properties

The following **Table 1** identifies adjacent designated properties and a description based on the CCNHCD Plan.

Table 1: Description of Adjacent Cultural Heritage Resources		
Address	Description	Heritage Status
54 Margaret Avenue	"A flamboyant large house with decorative half-timber Tudor details and grand circular turret and conical roof exposed currently on three sides. Built in c. 1904 for Herbert J. Bowman, County Clerk, later occupied by Charles J. Baetz, President of Baetz Brothers, Speciality Manufacturers, makers of floors and table lamps."	Listed; Designated under Part V (Group A); Identified as "Unique Building" in Section 3.4.3 of the CCNHCD Study (2006)
64 Margaret Avenue	(Formerly 66 Margaret Avenue) Presently stacked townhouses and an apartment complex. William H.	Designated under Part V (Group B)

	Breithaupt constructed a house at 64 Margaret Street (now Margaret Avenue). The house was demolished in 2003 and the property has since been redeveloped.	
116 Queen Street North/ 12 Margaret Avenue	Three-storey Gothic Church of the Good Shepherd Swedenborgian church with clock tower, fence and adjoining coach house (12 Queen Street) originated with the William Roos Estate, c.1885; Roos was a wholesale grocer.	Designated under Part IV and Part V (Group A) (see below for more information regarding designation).
15 Ellen Street West	Two-storey brick house built in c 1920.	Listed; Designated under Part V (Group C)
17 Ellen Street West	Two-storey vernacular brick house built in c.1910.	Listed; Designated under Part V (Group C)
21 Ellen Street West	Two-storey stucco house built in c.1905	Listed; Designated under Part V (Group B)
25 Ellen Street West	Two-storey vernacular brick house built in c. 1905.	Listed; Designated under Part V (Group C)
29 Ellen Street West	Two-storey brick house built in c. 1910	Designated under Part V (Group C)
31 Ellen Street West	Two and half storey, brick, Queen Anne house built in c. 1910 with shingled gable.	Designated under Part V (Group C)
33 Ellen Street West	Two storey, brick and stucco, Tudor house built in c. 1925.	Designated under Part V (Group C)
35 Ellen Street West	Two storey, brick, Tudor house built in c. 1925.	Designated under Part V (Group C)
37 Ellen Street West	Two and half storey, brick, Vernacular house built in c. 1910	Designated under Part V (Group C)
39 Ellen Street West	Two and half storey, brick, Vernacular house built in c. 1910	Designated under Part V (Group C)
41 Ellen Street West	Two storey, brick, Vernacular house built in c. 1900	Listed; Designated under Part V (Group B)
43 Ellen Street West	Two and half storey, brick, Vernacular house built in c. 1900	Listed; Designated under Part V (Group C)
45 Ellen Street West	Two and half storey, brick, Vernacular house built in c. 1910	Listed; Designated under Part V (Group C)

On July 15, 1985, By-law 85-129 was passed pursuant to Section 29 of the OHA to designate under Part IV of the OHA the property located at 12 Margaret Avenue/ 116 Queen Street, "The Church of the Good Shepherd" (see **Appendix B**); this by-law outlines the designating features as follows:

[This property] is designated as being of historical and architectural value that part of the aforesaid real property known as 116 Queen Street North being comprised of the portions of the wrought iron fence stretching from the drive beside the Church along Margaret Avenue to Queen Street and the section along Queen Street stretching to the Church property.

This designation is acknowledged in the CCNHCD Plan as being a key attribute of the property.

The cast iron fence that encircles the grounds at the Church of the Good Shepherd is an excellent example of period fencing. Originally, the fence enclosed the grounds of the home of William Roos, a prominent industrialist in the city. The Church now maintains the fence as an important link to its past, and serves as an excellent example of stewardship. (CCNHCD Plan, 2007, 4.18).



Figure 4: View of the cast iron fence of the Church of the Good Shepherd located at 12 Margaret Avenue/ 116 Queen Street, Kitchener (Source: Google Earth Pro, 2022)

1.6.3 Civic Centre Neighbourhood Heritage Conservation District

The CCNHCD was designated under Part V of the *Ontario Heritage Act* on February 25th, 2008 under By-law number 2008-39. Initial interest in designation was sparked as a result of the Civic Centre Neighbourhood's close proximity to the downtown core along with its well-established cultural and architectural history associated with many of Kitchener's civic leaders in the late 19th and early 20th centuries. Its heritage attributes are summarized as follows:

- 1. Its association with important business and community leaders during a key era of development in Kitchener;*
- 2. A wealth of well maintained, finely detailed buildings from the late 1800s and early 1900s that are largely intact;*

- 3. A number of unique buildings, including churches and commercial buildings, which provide distinctive landmarks within and at the edges of the District;*
- 4. A significant range of recognizable architectural styles and features including attic gable roofs, decorative trim, brick construction, porches and other details, associated with the era in which they were developed;*
- 5. The presence of an attractive and consistent streetscape linked by mature trees, grassed boulevards and laneways;*
- 6. Hibner Park, Kitchener's second oldest city park, as a green jewel in the centre of the District.*

These identified attributes are used to analyze potential impacts to the character of the CCNHCD in **Section 5.4** of this report.

2.0 Policy Context

2.1 The Ontario Planning Act

The *Planning Act* includes direction relating to a number of provisions respecting cultural heritage, either directly in Section 2 of the Act or Section 3 respecting policy statements and provincial plans. In Section 2, the *Planning Act* outlines 18 spheres of provincial interest that must be considered by appropriate authorities in the planning process. Regarding cultural heritage, Subsection 2(d) of the Act provides that:

The Minister, the council of a municipality, a local board, a planning board and the Municipal Board, in carrying out their responsibilities under this Act, shall have regard to, among other matters, matters of provincial interest such as, ...

(d) the conservation of features of significant architectural, cultural, historical, archaeological or scientific interest;

The *Planning Act* therefore provides for the overall broad consideration of cultural heritage resources through the land use planning process.

2.2 Provincial Planning Statement (2024)

In support of the provincial interest identified in Subsection 2 (d) of the Planning Act, and as provided for in Section 3, the Province has refined policy guidance for land use planning and development matters in the Provincial Planning Statement (2024) (PPS). The PPS is “intended to be read in its entirety and the relevant policy areas are to be applied in each situation”. This provides a weighting and balancing of issues within the planning process. When addressing cultural heritage planning, the PPS provides for the following:

4.6.1 Protected heritage property, which may contain built heritage resources or cultural heritage landscapes, shall be conserved.

4.6.3 Planning authorities shall not permit development and site alteration on adjacent lands to protected heritage property unless the heritage attributes of the protected heritage property will be conserved.

4.6.5 Planning authorities shall engage early with Indigenous communities and ensure their interests are considered when identifying, protecting and managing archaeological resources, built heritage resources and cultural heritage landscapes.

The PPS defines the following terms:

Conserved: means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/ or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/ or decision-maker. Mitigative measures and/ or alternative development approaches should be included in these plans and assessments.

Significant: in regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the Ontario Heritage Act.

Built Heritage Resource: means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community.

Cultural Heritage Landscape: means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features, such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship meaning or association.

Heritage Attributes: means, as defined under the Ontario Heritage Act, in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest.

Protected Heritage Property: means property designated under Parts IV or VI of the Ontario Heritage Act; property included in an area designated as a heritage conservation district under Part V of the Ontario Heritage Act; property subject to a heritage conservation easement under Parts II or IV of the Ontario Heritage Act; property identified by a provincial ministry or a prescribed public body as a property having cultural heritage value or interest under the Standards and Guidelines for the Conservation of Provincial Heritage Properties; property protected under federal heritage legislation, and UNESCO World Heritage Sites.

2.3 Ontario Heritage Act

The *Ontario Heritage Act*, R.S.O., 1990, c.0.18 remains the guiding legislation for the conservation of significant cultural heritage resources in Ontario. This HIA acknowledges the criteria provided with *Regulation 9/06* of the *Ontario Heritage Act* which outlines the mechanism for determining cultural heritage value or interest.

2.4 City of Kitchener Official Plan

Section 12 of the Kitchener Official Plan provides the policies regarding the identification and conservation of cultural heritage resources, including inventoried, listed, designated, or otherwise protected properties. The conservation of the City's cultural heritage resources is directed to be completed through "identification, protection, use and/ or management". As part of these objectives, the following provides the following in relation to development:

12.1.2. To ensure that all development or redevelopment and site alteration is sensitive to and respects cultural heritage resources and that cultural heritage resources are conserved.

12.C.1.21. All development, redevelopment and site alteration permitted by the land use designations and other policies of this Plan will conserve Kitchener's significant cultural heritage resources. The conservation of significant cultural heritage resources will be a requirement and/or condition in the processing and approval of applications submitted under the Planning Act.

These policies are directly relevant to this proposal as it proposes development within an area protected under the OHA. In order to meet these objectives, the City states the following:

12.C.1.23. The City will require the submission of a Heritage Impact Assessment and/or a Heritage Conservation Plan for development, redevelopment and site alteration that has the potential to impact a cultural heritage resource and is proposed:

- a) on or adjacent to a protected heritage property;*
- b) on or adjacent to a heritage corridor in accordance with Policies 13.C.4.6 through 13.C.4.18 inclusive;*
- c) on properties listed as non-designated properties of cultural heritage value or interest on the Municipal Heritage Register;*
- d) on properties listed on the Heritage Kitchener Inventory of Historic Buildings; and/or,*

e) on or adjacent to an identified cultural heritage landscape.

The subject lands are located *adjacent* to Protected Heritage Properties (Part V), and *adjacent* to Protected Heritage Properties (Part IV).

Section 12.C.1.13-12.C.1.16 of the Plan outlines policies related to Heritage Conservation Districts. The intent is that the HCD will be conserved through the adoption of an HCD Plan. This report evaluates the proposed development against the CCNHCD Plan to assess for conformity. The following policy outlines the requirements of the Heritage Impact Assessment and Heritage Conservation Plan used as a means to meet the objectives of this section, particularly as it relates to development:

12.C.1.25. A Heritage Impact Assessment and Heritage Conservation Plan required by the City must be prepared by a qualified person in accordance with the minimum requirements as outlined in the City of Kitchener's Terms of Reference for Heritage Impact Assessments and Heritage Conservation Plans.

The above-mentioned information is intended to be provided as supplementary information for the heritage permit application related to the subject lands.

2.5 Civic Centre Neighbourhood Heritage Conservation District Plan (2007)

The CCNHCD Plan contains specific policies and design guidelines for the subject lands. This area is identified as one of four (4) site/ area specific policies in the Plan including: Margaret Avenue, Ellen Street, Weber Street and Victoria Street. All new development should confirm to these policies and guidelines. An analysis of the proposed development and the conformity with each policy is provided in **Section 5.6** of this report.

2.6 City of Kitchener Terms of Reference

This report is based on the Terms of Reference provided by the City of Kitchener for the Scoped HIA for development on the subject lands. The Terms of Reference are summarized in **Section 1.2** of this report and provided in full in **Appendix A**.

3.0 Existing Conditions

A site visit was conducted by MHBC Cultural Heritage Staff on April 8, 2025 to document the existing conditions of the subject lands and surrounding heritage properties.

3.1 Existing Conditions of the Subject Lands

The subject lands currently include construction fencing, a gravel pad, a concrete retaining wall, and open space (see **Photos 6-8**).





Photos 6-8: Views of the subject lands looking north across Margaret Avenue. (MHBC, 2025)

3.2 Existing Conditions of the Adjacent Properties

3.2.1 54 Margaret Avenue

The dwelling at 54 Margaret Avenue is a 2.5 storey structure in the Tudor revival style which includes a round turret at the west elevation. The first storey is constructed of red brick and the two upper half-storeys are of Tudor half-timbering and painted wood shingles. The structure includes a gable roof with a gable dormer and a shed roof dormer at the east elevation. The window at the first storey principal elevation includes an arched stained glass transom, while the structure's other windows are square. The property also includes vehicular access to Margaret Avenue as well as landscape plantings and several mature and semi-mature trees, particularly at the east property boundary.

3.2.2 64 Margaret Avenue

The property currently includes 2.5-storey stacked townhouses interfacing with Margaret Avenue and a 6-storey apartment complex to the rear. Both buildings include vehicular access to Margaret Avenue.

3.2.3 116 Queen Street North/ 12 Margaret Avenue

The property at 116 Queen Street North/12 Margaret Avenue currently includes a 1.5 storey Swedenborgian church in the Gothic revival style. The building includes a multi-gable slate roof, a belfry at the east elevation, and a number of stained glass windows. The grounds also include mature and semi-mature trees, open space, a decorative iron fence along Margaret Avenue and Queen Street North, and a surface parking lot at the western edge of the property. The property also includes a 1.5 storey buff brick coach house at the northwest corner of the property.

3.2.4 15 Ellen Street West

The property includes a 2.5 storey yellow brick dwelling with a hip roof which includes Georgian revival and Edwardian elements. It has a symmetrical design with a central triangular pedimented portico supported by four Doric columns. The structure includes a central hip roof dormer at the principal elevation and a brick chimney at the west elevation. The eaves are supported by decorative brackets at the roofline. The west section of the 1st

storey of the principal (north) elevation includes a bay window. The property also includes paved vehicular access to Ellen Street West, mature trees, open space, and a rear 1.5 storey detached garage.

3.2.5 17 Ellen Street West

The property at 17 Ellen Street West currently includes a 1.5 storey buff brick dwelling with both multi-gable and hip roof sections. The principal elevation includes a veranda supported by square brick pillars. The veranda includes a stepped entrance with wood balustrades and decorative posts at the principal elevation. The 2nd storey of the principal elevation includes an enclosed balcony. The property also includes vehicular driveway access to Ellen Street West, open space, and a mature evergreen tree.

3.2.6 21 Ellen Street West

The property at 21 Ellen Street currently includes a 1.5 storey dwelling in the Arts & Crafts style. The structure includes a combination of hip and gable roof styles and rectangular window openings. The structure includes a portico at the principal (north) elevation supported by square posts and balcony above including decorative wood railings. The building includes a car port at the east elevation which includes an enclosed balcony above. The property also includes a mature deciduous tree, open space, landscape plantings, and vehicular access interfacing with 21 Ellen Street West.

3.2.7 25 Ellen Street West

The property at 25 Ellen Street West includes a 1.5 storey multi-gable painted brick dwelling with Arts & Crafts elements. It includes a veranda at the principal elevation with a partially enclosed balcony above. Window openings at the 2nd storey are arched with decorative voussoirs. There is an exterior red brick chimney at the west elevation. The property also includes a wood fenced rear yard, open space, landscape plantings, and vehicular access to Ellen Street West.

3.2.8 29 Ellen Street West

The property includes a 1.5 storey buff brick dwelling that does not appear representative of a particular architectural style. The dwelling features a front-facing multi gable roof with cornice returns and a rear chimney. Openings are rectangular and the principal elevation includes a veranda with Craftsman-style columns and simple decorative moulding at the architrave. The

property also includes natural stone edging interfacing with the public sidewalk, a mature tree, open space and landscape plantings, and vehicular access to Ellen Street West.

3.2.9 31 Ellen Street West

31 Ellen Street West currently includes a 2.5-storey red brick dwelling that does not appear to be representative of a particular architectural style. It includes a front-facing gable roof with cornice returns. There is a veranda at the principal elevation supported by square wood columns with simple decorative lines on brick piers. The property also includes landscape plantings and vehicular access to Ellen Street West.

3.2.10 33 Ellen Street West

The property currently includes a 1.5 storey red brick and Tudor half-timbering dwelling in the Tudor revival style. It appears to have been constructed as a twin dwelling to the adjacent property at 35 Ellen Street West. The property also includes a mature tree, landscape plantings, and a shared driveway with 35 Ellen Street West that provides access to Ellen Street West.

3.2.11 35 Ellen Street West

The property currently includes a 1.5 storey red brick and Tudor half-timbering dwelling in the Tudor revival style. It appears to have been constructed as a twin dwelling to the adjacent property at 33 Ellen Street West. The property also includes landscape plantings and a shared driveway with 33 Ellen Street West that provides access to Ellen Street West.

3.2.12 37 Ellen Street West

The property at 37 Ellen Street West currently includes a 2.5 storey red brick dwelling with Italianate and Arts & Crafts elements. The property includes a front veranda on Craftsman-style wood pillars supported by brick piers. Both the veranda and roof feature a shallow-pitched hip design supported by decorative brackets. There is a central hip roof dormer at the principal elevation. The property also includes landscape plantings and vehicular access to Ellen Street West.

3.2.13 39 Ellen Street West

The property at 39 Ellen Street West currently includes a 2.5 storey red brick dwelling which does not appear to be constructed in a particular architectural style. It includes a rectangular

plan and hip roof with a central front-facing hipped dormer. There is a simple wood veranda and balcony which appear to be of later construction. The principal elevation includes an asymmetrical window with a stained glass transom at the 1st storey. The property also includes open space, landscape plantings, and vehicular access to Ellen Street West.

3.2.14 41 Ellen Street West

The dwelling at 41 Ellen Street West is a 1.5 storey buff brick dwelling that does not appear to be constructed in a particular architectural style. It includes an arched window at the 2nd storey of the principal elevation and a portico which is an extension of the roofline supported by decorative wood columns. The property also includes open space, landscaping, and vehicular access to Ellen Street West.

3.2.15 43 Ellen Street West

The property at 43 Ellen Street West currently includes a 2.5 storey red brick dwelling which does not appear to be constructed in a particular architectural style. The building includes a multi-gable roof with full and partial cornice returns, rectangular openings, and a decorative moulding at the principal elevation between the 1st and 2nd storeys. It appears to have been constructed as a twin home to the adjacent property at 45 Ellen Street West. The property also includes a mature tree, open space, and vehicular access to Ellen Street West.

3.2.16 45 Ellen Street West

The property at 45 Ellen Street West currently includes a 2.5 storey red brick dwelling which does not appear to be constructed in a particular architectural style. The building includes a multi-gable roof with full and partial cornice returns, and rectangular openings. There is a hip roof portico supported by simple wood columns. It appears to have been constructed as a twin home to the adjacent property at 45 Ellen Street West. The property also includes a mature tree, open space, and vehicular access to Ellen Street West.

4.0 Description of Proposed Development

The proposed development includes the construction of a 6-storey residential building comprised of 261 residential units. The site will also contain one level of underground parking and surface parking to the north (rear) and west for a total of 263 parking spaces. The eastern portion of the property adjacent to the Church of the Good Shepherd is proposed as parklands. (see **Appendix C** of this report for larger versions of the site plan, elevations and renderings).

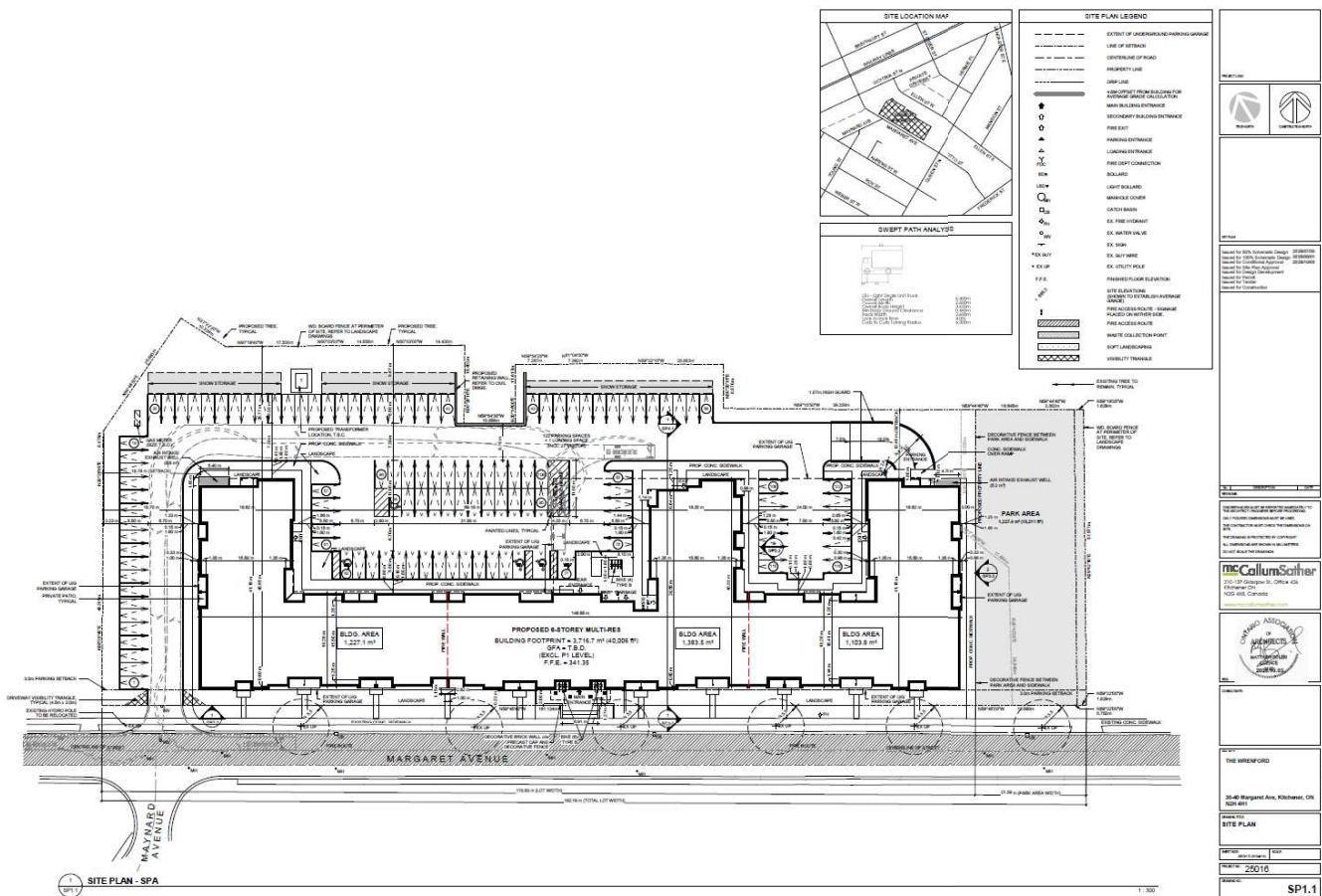


Figure 9: Proposed site plan. (McCallumSather, 2025)



Figures 10 & 11: Proposed elevations. (McCallumSather, 2025)



Figure 12: Proposed renderings. (McCallumSather, 2025)

4.1 Distances to Adjacent Properties

The proposed development will be located a minimum of 25 metres from the adjacent properties to the north, 47 metres from the Church of the Good Shepherd, and 23 metres from 54 Margaret Avenue to the west. See **Figure 13** below for distances to all adjacent properties.

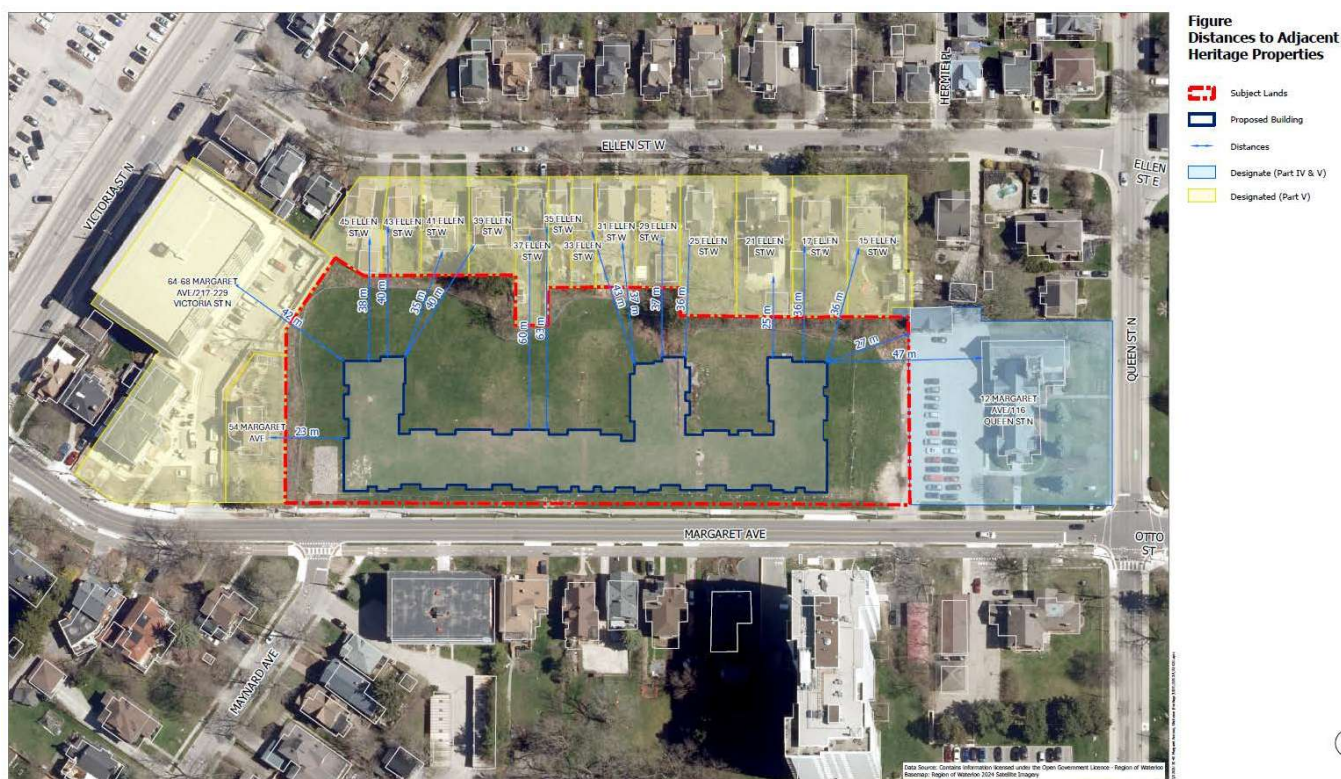


Figure 13: proposed site plan with distances to adjacent buildings. (MHBC, 2025)

4.2 Angular Plane Analysis

While not required by the CCNHCD Plan, an Angular Plane Analysis was conducted in October of 2025 (available in **Appendix E**) to ensure that the proposed development is respectful of the pedestrian experience.

As part of the analysis, a 45 degree angular plane was taken from the south side of Margaret Avenue (see **Figure 12**). Per the Staff Report dated August 6th, 2019 in response to the previous Heritage Permit Application HPA-2019-V-010 for the subject property (which City staff supported), Kitchener Cultural Heritage Planning staff noted that an angular plane taken from the opposite side of Margaret Avenue is an accepted urban design standard relative to achieving a comfortable sense of enclosure for pedestrians, with positive access to sunlight and sky views. Therefore, the same approach has been taken in the preparation of the current Angular Plane Analysis.



Figure 12: View of the angular plane analysis taken from the opposite side of Margaret Avenue as well as from the rear (north) property line. (McCallumSather, 2025)

The analysis indicates that only a small portion of the building does not meet the 45 degree angular plane. This is a result of the building's shallow setback at the principal (south) elevation which is encouraged within the CCNHCD Plan in order to promote a strong, pedestrian-oriented street edge due to its close proximity/shallow setback. While a deeper setback would result in the proposed development meeting a 45 degree angular plane at the principal elevation, the building's close proximity to the street would be sacrificed for minimal improvement when the current proposal is anticipated to result in a comfortable pedestrian experience along Margaret Avenue.

Additionally, the analysis indicates that a small portion of the building does not meet the angular plane to the rear (north) elevation (see **Figure 12** above). However, this is true only for the two north wings of the building located closest to the nearest rear property line. The majority of the north elevation meets and exceeds a 45 degree angular plane. Additionally, plantings are proposed to the rear (north) of the subject property along the property boundary to visually screen the proposed development from the rear yards of the adjacent dwellings, further reducing the perception of height.

An angular plane was also taken from the base of the adjacent dwelling located at 54 Margaret Avenue (see **Figure 13**). The proposal meets the angular plane, indicating a comfortable access to sunlight and sky views is anticipated for the closest adjacent property.



Figure 13: 45 degree angular plane taken from the base of the adjacent dwelling located at 54 Margaret Avenue. (McCallumSather, 2025)

5.0 Impact Analysis

5.1 Introduction

The following constitutes adverse impacts which may result from a proposed development, per the City of Kitchener Heritage Impact Assessment Terms of Reference:

- Demolition of any, or part of any, heritage attributes or features;
- Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance of a building;
- Shadows created that obscure heritage attributes or change the viability of the associated cultural heritage landscape;
- Isolation of a heritage resource or part thereof from its surrounding environment, context or a significant relationship;
- Obstruction of significant identified views or vistas of, within, or from individual cultural heritage resources;
- A change in land use where the change affects the property's cultural heritage value; and
- Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource.

The impacts of a proposed development or change to a cultural heritage resource may be direct (demolition or alteration) or indirect (shadows, isolation, obstruction of significant views, a change in land use and land disturbances). Impacts may occur over a short term or long term duration, and may occur during a pre-construction phase, construction phase or post-construction phase (medium-term). Impacts to a cultural heritage resource may also be site specific or widespread, and may have low, moderate or high levels of physical impact. Severity of impacts used in this report derives from *International Council on Monuments and Sites (ICOMOS) Guidance on Heritage Impact Assessments for Cultural World Heritage Properties (2011)*.

Table 2: ICOMOS Scale and Severity of Change/Impact

Impact Grading	Description
Major	Change to key historic building elements that contribute to the cultural heritage value or interest (CHVI) such that the resource is totally altered. Comprehensive changes to the setting.

Moderate	Change to many key historic building elements, such that the resource of significantly modified. Changes to the setting an historic building, such that it is significantly modified.
Minor	Change to key historic building elements, such that the asset is slightly different. Change to setting of an historic building, such that is it noticeably changed.
Negligible/ Potential	Slight changes to historic building elements or setting that hardly affect it.
No change	No change to fabric or setting.

5.2 Impact Analysis for Subject Lands

The subject lands are currently vacant and are not considered to exhibit CHVI. As no heritage attributes are located on site, no impacts adverse impacts are anticipated to the redevelopment of these lands.

Additionally, the subject lands were historically used for residential dwellings, which were demolished in the 1980s and 90s. The vacancy has created a void along the Margaret Avenue streetscape which is within one of the City's oldest neighbourhoods. Infill in this case is recommended as a form of conservation for the general rhythm of the neighbourhood, and in particular, the streetscape of Margaret Avenue. A building of good quality and architectural design can be beneficial for both the neighbourhood in terms of spatial organization and overall historical land use patterns, as well as visually provide a scenic infill in what is currently an unbalanced streetscape. Therefore, the sympathetic redevelopment of these lands is considered a beneficial impact.

However, the CCNHCD Plan provides specific policies for the redevelopment of the subject lands to ensure that new development enhances the overall character of the neighbourhood. Therefore, analysis of the proposed development for conformity with the CCNHCD Plan policies will be provided in **Section 5.6** of this report.

5.3 Impact Analysis for Adjacent Cultural Heritage Resources

Potential impacts as a result of the proposed development to the adjacent properties located at 54 and 64 Margaret Avenue, 116 Queen Street North/ 12 Margaret Avenue (Church of the Good Shepherd), and 15, 17, 21, 25, 29, 31, 33, 35, 37, 39, 41, 43, 45 Ellen Street West are assessed in **Table 3** below.

Table 3: Impact Analysis for Adjacent Cultural Heritage Resources

<i>Impact</i>	<i>Level of Impact (Potential, None, Negligible, Minor, Moderate or Major)</i>	<i>Analysis</i>
Demolition of any, or part of any, heritage attributes or features;	None.	The redevelopment of the subject lands does not propose to demolish identified heritage attributes of the adjacent cultural heritage resources.
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance of a building;	None.	The redevelopment of the subject lands does not propose to alter identified heritage attributes of the adjacent cultural heritage resources.
Shadows created that obscure heritage attributes or change the viability of the associated cultural heritage landscape;	None.	The proposed development is limited to 6 storeys in height and there are no identified landscape features associated with these properties which would be adversely impacted by shadows. Additionally, the Shadow Study (see Appendix D) indicates that adjacent properties will be in partial shadow for no more than a few hours per day during certain times of the year. Therefore, no adverse impacts from shadows are anticipated.

Isolation of a heritage resource or part thereof from its surrounding environment, context or a significant relationship;	None.	Some of the adjacent heritage properties exhibit a significant relationship to adjacent dwellings (such as the twin dwellings located at 33 and 35 Ellen Street and as well as the twin dwellings at 43 and 45 Ellen Street), however, no adjacent heritage properties exhibit a significant relationship with any features located on the subject lands. Additionally, no adjacent properties exhibit a significant relationship with any features located outside of the subject lands which they might be visually or physically separated from as a result of the proposed development. Therefore, no impacts from isolation are anticipated.
Obstruction of significant identified views or vistas of, within, or from individual cultural heritage resources;	None.	While no views or vistas of the adjacent heritage properties have been identified as significant, views of the principal elevation of a heritage structure from the public realm are often considered significant. The proposed development does not propose to alter views of the principal elevations of any of the adjacent heritage properties. Therefore, no impacts from obstruction are anticipated.
A change in land use where the change affects the property's cultural heritage value; and	None.	No change in land use is proposed. The historic use of the subject lands has been residential, and these lands are proposed to remain residential.
Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource.	Potential.	The dwelling at 54 Margaret Avenue is located 23 metres from the proposed development (see Figure 11). There is the potential for adverse impacts to this property due to vibration during excavation and construction activities. All other

		adjacent buildings are located a minimum of 25 metres from the proposed development (21 Ellen Street West) with the majority being located 30+ metres away. Additionally, the Church of the Good Shepherd is separated from the proposed development by proposed parklands to the east. Therefore, no other potential adverse impacts from vibration are anticipated, other than potential impacts to 54 Margaret Avenue.
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In conclusion, there is the potential for adverse impacts due to vibration during excavation and construction activities to the dwelling at 54 Margaret Avenue, which is located 23 metres from the proposed development.

5.4 Impact Analysis to the Character of the Civic Centre Neighbourhood Heritage Conservation District

The following **Table 4** analyzes the potential for impacts of the proposed development to the character of the Civic Centre Neighbourhood Heritage Conservation District. This analysis is based on attributes which have been listed in **Section 1.6.3** of this report.

Table 4: Impacts to the CCNHCD

Impact	Level of Impact (None, Negligible, Minor, Moderate or Major)	Analysis
Demolition of any, or part of any, heritage attributes or features;	Negligible.	The proposed development includes vehicular access to Margaret Avenue. There is the potential for adverse impacts from demolition to a small portion of the CCNHCD heritage attribute of the "grassed boulevards." However, as the proposed vehicular access includes a proposed width of 6.7 metres, the potential for impacts is considered

		negligible, as only a very small portion of the grass boulevards along Margaret Avenue may be impacted. Mitigation measures are not deemed necessary.
Alteration that is not sympathetic, or is incompatible, with the historic fabric and appearance of a building;	None.	There is the potential for a development which is not sympathetic to the context of the CCNHCD to result in adverse impacts due to alterations which are not compatible to the character of the neighbourhood. However, this potential for impacts is considered adequately mitigated provided the proposed development complies with the policies of the CCNHCD Plan. The proposed development is analyzed for conformity with the CCNHCD Plan policies in Section 5.6 of this report.
Shadows created that obscure heritage attributes or change the viability of the associated cultural heritage landscape;	None.	The proposed development will not result in shadows that negatively impact the CCNHCD including landscape features (i.e. mature trees) due to the limited height of 6 storeys proposed for the building. The Shadow Study (see Appendix D) also indicates that shadows are not anticipated to impact the streetscape along Margaret Avenue as it is located to the south of the proposed development.
Isolation of a heritage resource or part thereof from its surrounding environment, context or a significant relationship;	None.	The proposed development will not isolate adjacent heritage buildings or features but rather create a fluid streetscape, which is considered a beneficial impact.
Obstruction of significant identified views or vistas of, within, or from individual cultural heritage resources;	None.	While the CCNHCD Plan does not identify significant views or vistas amongst the heritage attributes of the District, the proposed development does not propose to alter views of the principal elevations of any of the adjacent heritage properties. Additionally, it is not anticipated to result in adverse impacts on views or vistas

		within the CCNHCD such as the views which are available along Margaret Avenue. As mentioned previously, the proposed development is intended to create a fluid streetscape, which is considered a beneficial impact to the streetscape. See Section 5.5 below for further analysis of the impacts to views and viewsapes within the District.
A change in land use where the change affects the property's cultural heritage value; and	None.	The subject lands are proposed for residential uses, which represent a return to historic uses of the property.
Land disturbances such as a change in grade that alters soils, and drainage patterns that adversely affect a cultural heritage resource.	None.	The proposed development is approximately 27 metres from the adjacent coach house and a minimum of 25 metres from properties to the rear along Ellen Street. The new construction will be approximately 23 metres from the dwelling at 54 Margaret Avenue which is sufficient distance to not anticipate impacts of vibrations as a result of construction activities. Drainage and grading should be appropriate based on an approval of an adequate drainage and grading plan.

In conclusion, no adverse impacts are anticipated to the character of the CCNHCD as a result of the proposed development.

5.5 Impact Analysis to Views and Streetscape

5.5.1 Introduction

The Standards and Guidelines of Historic Places (Second Edition) defines in Section 4.1.5 "Visual Relationships" which is included as part of a character-defining element of a historic place and relates to an observer and their relationship with a landscape or landscape feature (viewscape)

or between the relative dimensions of landscape features (scale). This policy adopts the following definition for viewscape:

Viewscape can include scenes, panoramas, vistas, visual axes and sight lines. In designed landscapes, a viewscape may have been established following the rules of pictorial composition: elements are located in the foreground, middle ground and background. A Viewscape may also be the chief organizing feature when a succession of focal points is introduced to draw the pedestrian onward through a landscape.

The Ontario Heritage Toolkit ("OHTK") acknowledges that views of a heritage attributes can be components of its significant cultural heritage value. This can include vantage points and views and vistas to and from an area. The OHTK has adopted the following definitions of a views and/or vistas:

***Views or vistas.** Visual settings can be important heritage attributes of a heritage conservation district. Views or vistas can be defined or framed by buildings and other structures, landforms, vegetation patterns or structures. Panoramic views, and particularly ones that the public has been appreciating for many years, can offer a "visual mosaic" of the district, and can help tell the story of past or existing land uses and other activity.*

Views can be either static or kinetic. Static views are those which have a fixed vantage point and view termination. Kinetic views are those related to a route (such as a road or walking trail) which includes a series of views of an object or vista. The vantage point of a view is the place in which a person is standing. The termination of the view includes the landscape or buildings which is the purpose of the view. The space between the vantage point and the termination (or object(s) being viewed) includes a foreground, middle-ground, and background. Views can also be 'framed' by buildings or features.

5.5.2 Views and Viewscapes within the CCNHCD

The CCNHCD Plan (2007) mentions the importance of views and overall effect of visibility of the proposed development on the District,

Because it is such a large site and is located on one of the more highly traveled streets in the District, it has pronounced visibility with the potential to significantly enhance or detract from the overall character of the neighbourhood depending on the ultimate appearance of development on the site. (Sub-section 3.3.5.3 Margaret Avenue, CCNHCD Plan, 2007).

Thus, it is important that the proposed development enhances *significant* views and viewscapes in the district. The following diagram identifies views, both kinetic and stationary, as well as viewscapes that may be affected by the proposed development.

The CCNHCD Study (2006) reviewed views and viewsapes within the boundary of the district. The study states that, “-where streets are consistent as along Ellen Street, Ahrens Street or Gordon Avenue, the views are closed but long” (Section 4.3). Consistency as part of a view and viewsapes of the district will be evaluated in this sub-section. See the following **Table 5** for an analysis of potential impacted views and viewsapes.

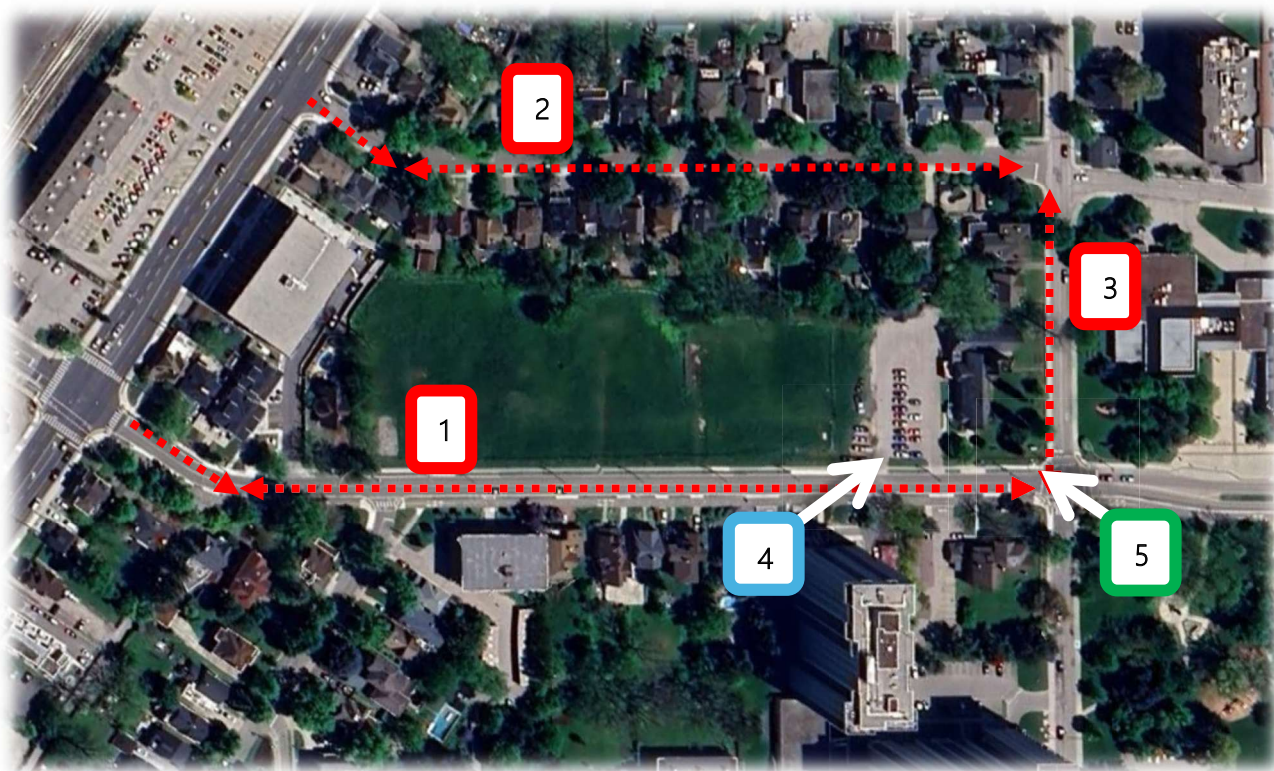


Table 5: Analysis of Views and Viewsapes

View/ Viewscape	Description of View
View No.1	Kinetic view along Margaret Avenue
View No. 2	Kinetic view along Ellen Street West
View No .3	Kinetic view along Queen Street North
View No. 4	Stationary view of western elevation of the Church of the Good Shepherd
Viewscape No. 5	Viewscape (scene) of the Church of the Good Shepherd at the intersection of Queen Street North and Margaret Avenue

5.5.3 Analysis of Potential Impacts to Views and Viewsapes

View No.1: The CCNHCD Study of 2006, specifically identifies in Section 4.4 that scale and character does shift across Margaret Avenue. Margaret Avenue is currently composed of low, medium and high-rise buildings. The scale and character of the Avenue is a mosaic of types of architecture. The kinetic view along Margaret Avenue will change so as to fill in a space that historically was filled with residential dwellings. The impact is beneficial to this view and will

not adversely affect the streetscape but rather it will complete the streetscape while maintaining the overall view of the street.

View No.2: The kinetic view along Ellen Street West will not be negatively impacted. The proposed development may be visible to the rear of the residential homes. However, existing trees in the rear yards of these homes and will screen the building masses. Additional plantings are also proposed for the rear property boundary.

View No.3: Queen Street North is characterized by a variety of types of architecture; there are medium/ high rise buildings existing along this street. The proposed development will not impact the kinetic view of Queen Street North.

View No. 4: The view of the western façade of the Church of the Good Shepherd will not be negatively impacted due to the proposed development. Due to the parking lot on the church property and the proposed park, the view of the north façade will still be visible.

Viewscape No. 5: The CCNHCD Plan (2007) defines churches as “distinctive landmarks within and at the edges of the District” as one of the key attributes of the district. The viewscape in the form of a scene of the Church of the Good Shepherd at the intersection of Queen Street North and Margaret Avenue is a distinctive part of the district. The Gothic revival church with its wrought iron fence at the corner of this intersection marks its presence on both streets (see **Figure 14**). This scene is presented by the wrought iron fence in the foreground, church structure in the middle ground with its three-storey clock tower leading the viewer to the heavens as a background. The view of the wrought iron fence will be limited to the change in the background from the proposed development. The foreground including the fence and the middle ground of the landscaping and church will, however, remain the same.



Figure 14: Aerial view of the Church of the Good Shepherd; red dotted line outlines the approximate perimeter of the designated wrought iron fence line (Google Earth Pro, 2019)

5.6 Conformity with the Civic Centre Neighbourhood Heritage Conservation District Plan Policies

The CCNHCD Plan contains specific policies and design guidelines for the subject lands. This area is identified as one of four site/area specific policies in the Plan including: Margaret Avenue, Ellen Street, Weber Street and Victoria Street. All new development should confirm to these policies and guidelines. An analysis of the proposed development and the conformity with each policy is provided below.

See **Appendix C** for site plan, elevations, and architectural renderings.

5.6.1 Site Specific Guidelines: Margaret Avenue

The CCNHCD policies with regard to new development on Margaret Avenue are provided below, along with responses pertaining to the proposed development.

3.3.5.3 Margaret Avenue

A large parcel of land on the east side of Margaret Avenue is currently vacant, except for a number of mature trees. This property was home to a number of significant mansions which were allowed by their property owners to go into serious disrepair and eventually were demolished in the 1980s and 1990s. It represents by far the single largest vacant property in the District where development is almost certain to happen in the future. Site plan applications were submitted in the past, but to date, nothing has been constructed. Because it is such a large site and is located on one of the more highly traveled streets in the District, it has pronounced visibility with the potential to significantly enhance or detract from the overall character of the neighbourhood depending on the ultimate appearance of development on the site. The site is designated as Medium Density Multiple Residential and zoned R8, allowing for a full range of residential uses up to 24 metres (approximately 8 storeys). The Municipal Plan contains several other policies which are included below along with additional policies that are to apply to this site to ensure that new development maintains the heritage character of the District.

Policies:

New development on the east side of Margaret Avenue shall maintain the overall residential character of the neighbourhood (Section 13.1.2.4 of Municipal Plan).

Response 1: The proposed development is located centrally on Margaret Avenue between Victoria Street North and Queen Street North. A portion of the overall building is adjacent to the parking lot of the Church of the Good Shepherd which is on the 'east side' of Margaret Avenue. Architectural details such as recessed portions of the principal (south) façade and landscape features have been intentionally designed to maintain the overall residential character of the neighbourhood. The new construction presents itself as several visually distinct units similar to the surrounding single-family dwellings (including 54 Margaret Avenue) as a result of the recessed alcoves which break up the solid massing at the pedestrian level. Materials have been chosen which complement the historic character of the area including red brick and limestone cladding. The colour palette of the building is neutral and includes black and shades of grey in addition to the red brick so as not to overshadow adjacent heritage resources.

Underground parking is encouraged for all forms of redevelopment and is required for apartment developments, with the exception of surface visitor parking (Section 13.1.2.4 of Municipal Plan).

Response 2: The site will contain one level of underground parking. One row of surface parking is proposed along the vehicular access point to Margaret Avenue at the west edge of the proposed development, but all other surface parking will be located predominantly to the north (rear) of the building and not visible from the public realm. A total of 293 parking spaces are proposed.

Redevelopment should be of a height, siting and design which will prevent it from encroaching on lower density dwellings located on Ellen and Ahrens Streets (Section 13.1.2.4 of Municipal Plan).

Response 3: The proposed building height is 6 storeys (21.149 metres), which, while taller than the buildings on the adjacent properties, is not considered inappropriate to the context. The Angular Plane Analysis (see **Section 4.2** and **Appendix E** of this report) indicates that a comfortable pedestrian experience with positive access to sunlight and sky views is anticipated. Additionally no adverse impacts are anticipated as a result of shadow (see **Appendix D** for full Shadow Study).

Section 3.3.5.3 of the CCNHCD Plan includes policies specific to Margaret Avenue and notes a designation at the time of Medium Density Multiple Residential and zoned R8, allowing for a full range of residential uses up to 24 metres (approximately 8 storeys). Therefore, a proposed height of 6 storeys is within the height limit permitted on the property at the time of the CCNHCD.

Additionally, the property includes visual separation from the surrounding buildings via the parkland and church parking lot at the east elevation, the rear yards and mature trees of the dwellings along Ellen Street West, and the laneway and surface parking at the west elevation of the subject property. The proposed development is approximately

three metres from the front yard property line which situates it close to the streetscape, and the design includes a variety of heights, setbacks, forms and textures to reduce the perception of massing.

Development proposals shall establish a strong, pedestrian oriented street edge that is consistent with the residential character of the District, through the use of appropriate setbacks, height, architectural features and building articulation.

Response 4: The orientation and location of the proposed development promotes a strong, pedestrian oriented street edge due to its close proximity/shallow setback to the street. The separation of the building into several distinct visual units via recessed alcoves provides a more inviting streetscape in lieu of one building mass and interacts with the streetscape as singular residential units which promotes the residential character of the District. The variation in material along the front façade reduces massing towards the street and the use of limestone and red brick is consistent with the residential character of surrounding historic dwellings. Additionally, the height of 6 storeys is anticipated to preserve a comfortable pedestrian experience (see **Section 4.2** of this report).

Any buildings proposed over 5 storeys in height may be required to undertake shadow studies to demonstrate that they will not unreasonably impact access to sunlight in rear yard amenity areas on Ellen Street.

Response 5: While a Shadow Study has not been requested, one has been prepared to ensure that the proposed development will not result in adverse impacts to surrounding heritage resources as a result of shadows. The Shadow Study (see **Appendix D**) indicates that the properties located to the east, north, and west are anticipated to be in partial shadow for no more than a few hours a day during certain parts of the year. Shadows are not anticipated to impact the viability of existing plantings, nor to obscure identified heritage attributes within the District.

The retention and incorporation of existing trees is strongly encouraged as part of any development proposal.

Response 6: The subject lands currently consist of open space, a gravel pad, and a concrete retaining wall. The majority of mature trees referenced in this policy were removed by the previous owner. Some trees remain along the north and west property boundaries, of which 13 are proposed for retention in accordance with the recommendations of the Arborist Report and Tree Management Plan conducted by GSP Group in September of 2025.

Traffic studies may be required to demonstrate that new development will not have a negative impact on the existing heritage character of the area with respect to any potential road width / turning lane requirements or access locations.

Response 7: No road widenings are required along Margaret Avenue. Access to the proposed development is in the location requested by City transportation staff and aligns with Maynard Avenue. Any future turning lanes would be within the existing road right-of-way and would not impact the existing character of the area.

5.6.2 Land Use Designations and Zoning Guidelines for Margaret Avenue

4.2.1 Land Use Designations and Zoning: Medium Density Multiple Residential Designation – Margaret Avenue

"The large vacant lot on Margaret Avenue is also currently designated Medium Density Multiple Residential, which is intended to permit some integrated medium density development while maintaining the overall character of the neighbourhood. Zoning for the large vacant parcel is R8, which permits a floor space ratio of 2 and a maximum height of 24 metres (approximately 8 storeys) for multiple dwellings. The majority of buildings beside, across from and backing onto the large vacant site on Margaret are still the original detached dwellings, primarily 2 to 2-1/2 storeys in height. One high rise apartment is situated across from the east end of the site. While the zoning would allow for construction of an 8 storey building, it would be more difficult for a building of this height to "maintain the overall character of the neighbourhood". Actual architectural and design elements, along with siting of buildings would likely play an equally important role in whether new development was compatible with the character of the neighbourhood.

With the permitted floor space ratio of 2, it would be very possible to achieve the maximum floor area within a building envelope of 5 storeys or less as shown below. As a result, consideration should be given to reducing the maximum permitted height in this area to approximately 16.5 metres to reduce potential height impacts on the street and adjacent neighbours. Height impacts could also be addressed through the addition of angular planes and/or step back requirements in the zoning by-law or guidelines to minimize building heights nearest the street. In addition, a maximum front yard setback of 10 metres is recommended to establish a street edge similar to the opposite side of Margaret Avenue. It is also recognized that there are quite a number of mature trees that are located on the property. Opportunities to retain and/or design around these trees should be encouraged."

Response 7: The proposed building height is 21.149 metres. The Angular Plane Analysis (see **Section 4.2**) indicates that positive access to sunlight and sky views is anticipated to remain available. Additionally the Shadow Study (see **Appendix D**) indicates that shadows are not anticipated to result in adverse impacts to adjacent heritage resources.

The proposed building setback of approximately 3 metres is within the CCNHCD recommended maximum and establishes a similar street edge to the opposite side of Margaret Avenue.

It is important to note that the majority of mature trees referenced in the CCNHCD Plan were removed by the previous owner. Some trees remain along the north and west property boundaries, of which 13 are proposed for retention in accordance with the recommendations of the Arborist Report and Tree Management Plan conducted by GSP Group in September of 2025. Additionally, new tree plantings are proposed which are anticipated to contribute to the streetscape and character of the neighbourhood.

5.6.3 Site/Area Specific Design Guidelines: Margaret Avenue

6.9 Site/Area Specific Design Guidelines

There are several sites, as previously identified in the policies and implementation sections of this report, that have a distinct character and/or some development expectation or potential over the long term. To ensure that future development, should it occur, is compatible with the District, the following guidelines should be considered during the building and site design in these areas.

6.9.1 Margaret Avenue

New development on the vacant lot on Margaret Avenue should establish a strong relationship to the street similar to that which exists on the south side of the street, by having a maximum front yard setback of 10 metres.

Response 8: The front yard setback is approximately 3 metres and therefore, is within the maximum setback and similar to the rest of the street. Landscaping of a tree boulevard for the proposed development will also address the relationship between the trees on the south side of the street and those in front of the new building. The development will be oriented to the street. The subject lands include frontage on Margaret Avenue and the front elevation along the streetscape has been designed to have architectural interest and details that promote a fluid streetscape.

A minimum rear yard setback of 10 to 15 metres is encouraged to minimize the impact of new development on existing residents on Ellen Street West, given that the topography slopes onwards from Margaret Avenue to Ellen Street. This rear yard setback is also more consistent with that of existing development on Ellen Street.

Response 9: While the setback to the rear of the building is not uniform, this guideline is met and exceeded. The setback of the building is approximately 13.5 metres at the narrowest point and ranges from approximately 26 metres at the northwest portion to

approximately 45.5 metres at the recessed portions of the building. Additionally, the rear yard is intended to be landscaped which allows for a buffer between the development on the existing residents along Ellen Street West to minimize impacts as a result of the new dwelling units. The majority of the building meets and exceeds a 45 degree angular plane from the closest property boundary (see **Section 4.2**) and the few portions of the rear of the building which do not meet a 45 degree angular plane are anticipated to be appropriately screened with plantings along the rear landscape buffer.

Building step backs are encouraged for any development greater than 3-4 storeys in height to minimize the impact of new development on the pedestrian environment of the street. Step backs should be a minimum of 2 metres to provide for useable outdoor terraces on the upper levels.

Response 10: The proposed new construction is 6 storeys in height, however as described above, design features have been incorporated which are intended to preserve the pedestrian environment of the street. These include the separation of the building into several distinct visual units via recessed alcoves, the variation in material along the front façade which reduces massing towards the street, the use of limestone and red brick is consistent with the residential character of surrounding historic dwellings, and the incorporation of a neutral colour palette. Additionally, building includes a shallow setback of 3 metres, which is anticipated to result in a positive pedestrian experience.

Street level architecture of any new development on Margaret Avenue should incorporate a high degree of building articulation and architectural detail to provide interest and compatibility with existing buildings across the street. Details could include cornices, pilasters, varied roof lines, pitched roofs, gables and dormers, decorative door and window details, turrets, porches, bays and other similar features.

Response 11: Architectural details include arched balcony openings at the 3rd storey, oculus-like circular detailing below the roofline, and a variety of textures, colours, and setbacks at the principal elevation. Limestone cladding reflects the materials of the adjacent Church of the Good Shepherd, and red brick is a commonly-used material along Margaret Avenue.

The colour palette is proposed to be neutral. Colours proposed include: red brick, dark and light grey, and black (see **Figure 15**).



Figure 15: Proposed colour palette of the new building.

Create transitions in building width and massing by dividing the building visually into smaller units or sections that are more representative of the predominantly single family nature of the neighbourhood.

Response 12: This architectural design of the building uses repetitive façade elements, such as the mirrored rhythm of building sections (see **Appendix C** for architectural elevations and renderings).

The articulation of the front façades reflects width and spacing of the single detached dwellings on the south of Margaret Avenue. There are 18 separate glazed walls at the principal elevation along Margaret Avenue which has the effect of creating visually distinct single units similar in character to the single detached dwellings on the south side of Margaret Avenue.

The use of brick and/ or stone is strongly encouraged for the front façade of any new development, to establish consistency with other heritage buildings in proximity to the parcel of land;

Response 13: The proposed developed incorporates red brick and limestone veneer on the first 2.5 storeys of the front façade.

Parking for new development will not be permitted in the front yard. Underground parking is strongly encouraged, or appropriately landscaped and screened surface parking at the rear or side of the development.

Response 14: The proposed development does not include parking located in the front yard. The proposal includes one level of underground parking. One row of surface parking is proposed to be located at the west side yard along the vehicular access point to Margaret Avenue, but all other surface parking will be located predominantly to the north (rear) of the building and not visible from the public realm. A total of 293 parking spaces are proposed.

Retention and incorporation of healthy trees currently located on the vacant land parcel is strongly encouraged to provide the new development with an 'instant' amenity and to help it blend into the heritage landscape that exists in the Civic Centre Neighbourhood. Design new buildings around the existing trees to the extent possible. Where trees must be removed, they should be replaced with new ones at appropriate locations in the landscape.

Response 15: The subject lands currently consist of open space, a gravel pad, and a concrete retaining wall. The majority of mature trees referenced in the CCNHCD Plan were removed by the previous owner. Some trees remain along the north and west property boundaries, of which 13 are proposed for retention in accordance with the recommendations of the Arborist Report and Tree Management Plan conducted by GSP Group in September of 2025. Additionally, new plantings are proposed which are intended to enhance the existing streetscape.

5.6.4 Guidelines for Part IV Designations within CCNHCD

3.3.7 Part IV Designations

A number of properties in the Civic Centre Neighbourhood are currently designated under Part IV of the Ontario Heritage Act. When such properties are included in a Heritage Conservation District, the requirements of Part V of the Act take precedence over Part IV. As a result, the specific heritage attributes that are protected under Part IV are to be identified and included in the Heritage District Conservation Plan to ensure their continued protection. To address this situation, the following policies are established for properties previously designated under Part IV.

Policies:

The policies and guidelines of this Conservation Plan are to apply to all properties previously designated under Part IV of the Ontario Heritage Act.

In addition to the policies and guidelines of this Plan, all interior and exterior features previously designated under Part IV of the Ontario Heritage Act, that are or may be above and beyond those features to be protected as a result of designation under Part V for the following properties are to continue to be protected in the same manner as prior to their designation under Part V. This includes:

- *116 Queen Street North (fence) – Wrought iron fence*

Response 16: The proposed development is not anticipated to negatively impact the wrought iron fence along the property of the Church of the Good Shepherd as the fence will not be removed, altered, or obscured, and construction activities are not proposed to take place in the vicinity of the wrought iron fence, which is located approximately 52 metres from the development area. Additionally, the fence (location noted in is separated from the proposed development by the existing parking lot and proposed parklands.

5.6.5 Other Applicable Guidelines for the Public Realm within the CCNHCD

This section analyzes other applicable guidelines within the CCNHCD Plan which relate to the overall public realm and the effect on the district by the proposed development.

Mature trees are to be protected and preserved to the extent possible. (CCNHCD Plan (2007), Public Realm, 3.3.6 (a)))

Response 17: As previously mentioned, the majority of mature trees referenced in the CCNHCD Plan were removed by the previous owner. Some trees remain along the north and west property boundaries, of which 13 are proposed for retention in accordance with the recommendations of the Arborist Report and Tree Management Plan conducted by GSP Group in September of 2025. Additionally, new plantings are proposed which are intended to enhance the existing streetscape.

Landscaping that complements the existing landscapes of the district, screens parking areas and contributes to the overall pedestrian quality is encouraged for all new development. Specific landscape elements will be governed by Site Plan Approval. (CCNHCD Plan (2007), Public Realm, 3.3.6 (c))

Response 18: New trees are proposed along Margaret Avenue. Further landscaping elements will be determined through the approval process.

Where construction and/ or construction activities on private property may impact publicly owned trees, submissions for site plan approvals/ permits shall be

accompanied by a tree preservation plan clearly indicating measures to preserve the municipally owned tree and approved by Urban Forestry. The tree preservation plan shall be prepared by a landscape architect, certified arborist or registered professional forester (CCNHCD Plan (2007), Public Realm, Street Trees, Sub-section 7.3.1).

Response 19: Construction activities are not proposed to impact publicly owned trees as construction will be confined to the subject lands, which do not include publicly owned trees.

All boulevards should be maintained as green space, serving as an important buffer between vehicular and pedestrian space within the streetscape (Public Realm, Boulevards, Sub-section 7.3.2).

Response 20: The existing boulevard will be maintained as green space to serve as a buffer between vehicular and pedestrian space within the streetscape. New vehicular access is proposed to Margaret Avenue, but this access will be limited to 6.7 metres in width; all other grass boulevards adjacent to the subject lands are proposed to remain.

Residents of the Civic Centre Neighbourhood are encouraged to consider the use of plant materials that were typically employed in Ontario residential landscapes during the post-Confederation and post-Victorian periods" (CCNHCD Plan (2007), Public Realm, Front Gardens, Sub-section 7.4.2).

Response 21: A landscape plan has been prepared which details the variety and placement of proposed plantings. Landscaping will be composed of typical plant material selection for residential landscaping indicated in Table 5.1 of the CCNHCD Plan (2007).

New fences should be consistent in design, materials, and scale with heritage fencing. Wood, and iron fencing are recommended over vinyl, plastic, aluminium or other more modern materials. In the event that a more decorative or ornate style of fencing can be identified as historically installed on the property, it is desirable that the fencing should be replicated (CCNHCD Plan (2007), Public Realm, Front Gardens, Sub-section 7.4.2).

Response 22: A wood board fence is proposed along side and rear property lines, which is in keeping with this policy.

Where fences are proposed where they did not historically exist, uncomplicated heritage designs are recommended over more modern styles. Unfinished pressure treated lumber fencing and chain link fencing are discouraged in the study area, especially in the front and side yard areas where fencing material can affect the streetscape character most (CCNHCD Plan (2007), Public Realm, Front Gardens, Sub-section 7.4.2).

Response 23: The proposal mostly conforms to this recommendation. No fences are proposed along the front of the building, and wood board fences are proposed for the rear and side property lines in a minimal, uncomplicated design. While the side yard fences are proposed to include unfinished wood, they are intended to be part of an integrated landscape which is proposed to include tree plantings and vegetative screening which. The use of unfinished wood for side yard fences is not anticipated to result in any adverse impacts to the streetscape along Margaret Avenue.

Size and scale of the fencing should be considered closely, and take into account distance to viewing points, viewing heights and sight lines over fencing (CCNHCD Plan (2007), Public Realm, Front Gardens, Sub-section 7.4.2).

Response 24: The size and scale of the fencing is intended to be appropriate to the context and is not anticipated to obscure or isolate any heritage attributes of the CCNHCD as viewed from the public realm.

Ornamental furniture should be coordinated, and if possible sourced from the same supplier in order to achieve the same economy of scale. A bench such as the MLB 310M bench available from Maglin Site Furniture Inc., finished in black pilaster powder coat, made from solid cast aluminium. The MLWR 200-32 trash receptacle and MBR200 bike rack are also available in the black powder coat finish, and coordinate with the bench (CCNHCD Plan (2007), Public Realm, Street Furniture, Sub-section 7.3.6).

Response 25: There is no ornamental furniture proposed.

5.6.6 Compatibility with the Civic Centre Neighbourhood Heritage Conservation District Plan Preferred Examples of Infill

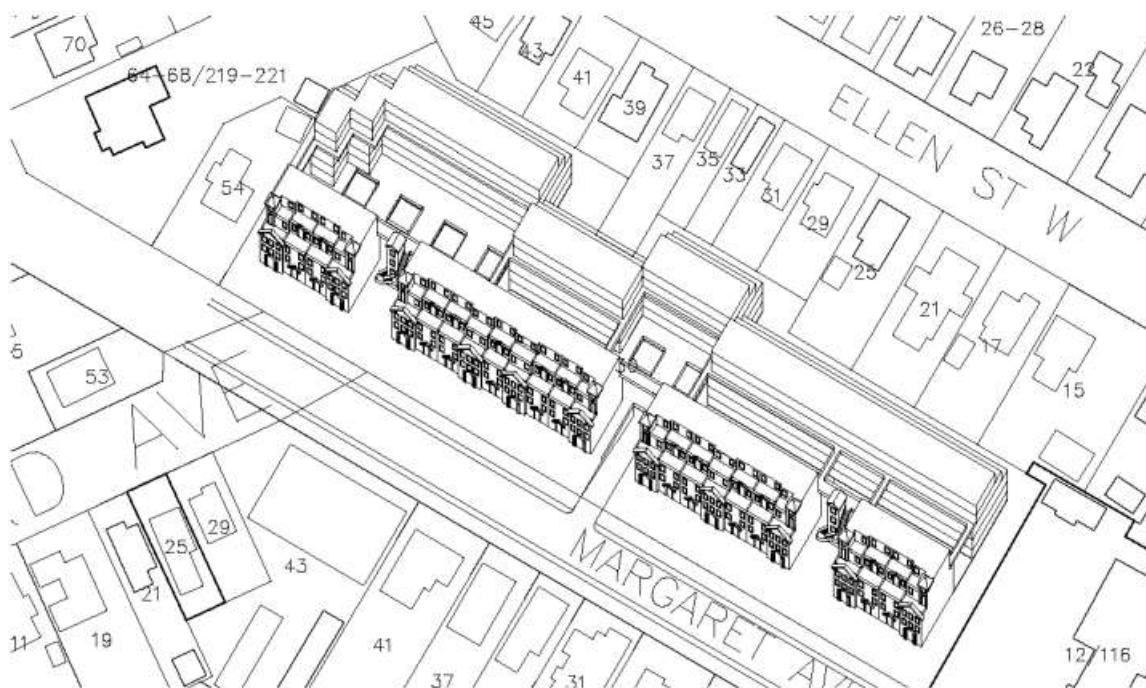
Section 5.6 of this report completed an overall analysis of the policies in the CCNHCD Plan (2007). This analysis concluded that the proposed development is compatible with the overall character of the CCNHCD.

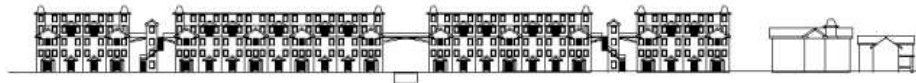
The proposed development relays similar architectural articulations as the preferred example provided in the CCNHC Plan above in **Figures 17** and **18**. Although the development is taller than the historic residential buildings in the immediate surrounding area, it generally complies with the neighbourhood.



This is a good example of the use of simple graphic to demonstrate acceptable and unacceptable infill design. (Graphic: Ministry of Culture)

Figure 16: Diagram showing good and bad examples of infill (OHTK, Ministry of Tourism, Culture and Sport of Ontario)





Elevation on Margaret Avenue looking north to proposed low-rise redevelopment. Height of buildings to be similar to existing building heights of three storeys near the street, up to five storeys mid-block.

Figures 17 & 18: (above) Preferred example showing axonometric view of a proposed development from Sub-section 6.9.1 of the CCNHCD Plan for Margaret Avenue; (below) Example of front elevation of preferred example along Margaret Avenue. (Source: CCNHCD Plan, 6.29- 6.30)

In addition to complying with the architectural design guideline policies in the CCNHCD Plan (2007), the overall design of the proposed development is also considered compatible with the preferred examples from case studies outlined in 6.9.5 of the CCNHCD Plan (2007). The excerpt below explains how these preferred examples are compatible for Margaret Avenue:

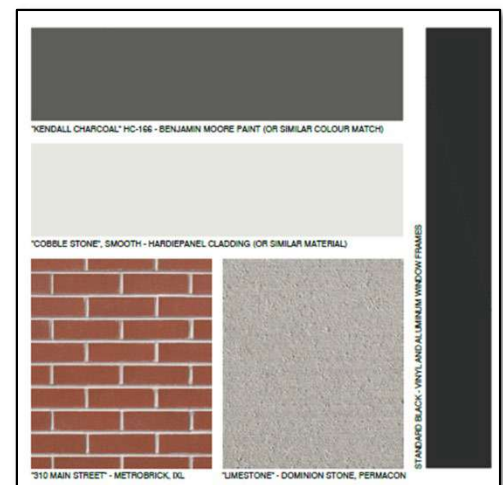
'More Preferred' Examples

The photos below illustrate examples of development that would be considered reasonably compatible in the Civic Centre neighbourhood, in areas such as Margaret Avenue, Ellen Street, Weber Street and Victoria Street. These developments generally display good relationship to the street, sensitivity to scale, massing and built form, appropriate interpretation of roof lines, and window placement. For the most part, they also break up the buildings visually into smaller units through articulation of the front façade and variation in building materials.

Figures 19 to 23 provide a comparative analysis of the preferred examples presented in the Plan and the proposed new construction. Some similarities include the used of glazed walls to delineate individual units, the use of setbacks and various projecting bays, and contrast of red brick and other materials.



Proposed Development



Figures 19-23: (above left to bottom left) Preferred examples from Sub-section 9.6.5 of the CCNHCD Plan for Margaret Avenue; (right) elevations, materials, and colours of the proposed development.

5.7 Conclusion

In conclusion, this report has identified the following impacts as a result of the proposed development:

- Beneficial impact with regard to the sympathetic redevelopment of the subject lands which is anticipated to be beneficial for both the neighbourhood in terms of spatial organization and the overall historical land use patterns. Additionally, the proposed development will provide scenic infill in what is currently an unbalanced streetscape.
- Potential adverse impact to 54 Margaret Avenue with regard to land disturbances which may result in vibration during excavation and construction activities.

Additionally, the proposed development is generally in conformity with the relevant policies of the CCNHCD Plan and preserves the character and streetscape of the neighbourhood.

Where the proposal does not conform is with regard to the following guidelines:

- The Margaret Avenue Site/Area Specific Design Guidelines encourage building step backs of 2+ metres for any development greater than 3-4 storeys in height to minimize the impact of new development on the pedestrian environment of the street. The proposed development is 6 storeys and does not incorporate a 2+ metre step back. However, the Angular Plane Analysis indicates that positive access to sunlight and sky views is anticipated to remain available while maintaining a shallow setback for a comfortable pedestrian experience. Additionally, design features have been incorporated which are intended to preserve the pedestrian environment of the street. These include the separation of the building into several distinct visual units via recessed alcoves, the variation in material along the front façade which reduces massing towards the street, the use of limestone and red brick is consistent with the residential character of surrounding historic dwellings, and the incorporation of a neutral colour palette. No additional mitigation measures are deemed necessary.

6.0 Alternative Development Options, Mitigation and Conservation Measures

6.1 Alternative Development Options

Consideration of alternative development approaches is routinely undertaken through the assessment of heritage impacts when significant adverse impacts are identified. As this report has not identified any major adverse impacts as a result of the proposed development, the exploration of alternative development options is not deemed warranted.

6.2 Mitigation and Conservation Measures

The following mitigation and conservation measures are recommended:

- That a Vibration Monitoring Plan be prepared for 54 Margaret Avenue to ensure that the dwelling which is located 20 metres from the proposed development is not adversely impacted due to vibrations for the duration of excavation and construction activities.
- It is also recommended as a precautionary measure that construction fencing be erected around 54 Margaret Avenue to deter dust and debris and any accidental damage that could occur. It would also be encouraged that points of entry to the site during construction avoid this property, if possible, and that the storage of material and equipment be located away from the immediate area of the adjacent dwelling;

Additionally, the following measures are encouraged:

- That the park be named after a previous landowner (i.e. William and Margaret Young, D. S. Bowlby, Dr. Cornell, Albert Augustine, Kaufman family) in order to honour the former historical associations of the subject lands;
- That the proposed tree plantings along Margaret Avenue be of appropriate native species in order to enhance the character of the streetscape and neighbourhood.

7.0 Conclusions and Recommendations

This report has identified no adverse impacts as a result of the proposed development.

The following impacts have been identified:

- Beneficial impact with regard to the sympathetic redevelopment of the subject lands which is anticipated to be beneficial for both the neighbourhood in terms of spatial organization and the overall historical land use patterns. Additionally, the proposed development will provide scenic infill in what is currently an unbalanced streetscape.
- Potential adverse impact to 54 Margaret Avenue with regard to land disturbances which may result in vibration during excavation and construction activities.

Additionally, the proposed development is generally in conformity with the relevant policies of the CCNHCD Plan and preserves the character and streetscape of the neighbourhood.

Where the proposal does not conform is with regard to the following guideline:

- The Margaret Avenue Site/Area Specific Design Guidelines encourage building step backs of 2+ metres for any development greater than 3-4 storeys in height to minimize the impact of new development on the pedestrian environment of the street. The proposed development is 6 storeys and does not incorporate a 2+ metre step back. However, the Angular Plane Analysis indicates that positive access to sunlight and sky views is anticipated to remain available while maintaining a shallow setback for a comfortable pedestrian experience. Additionally, design features have been incorporated which are intended to preserve the pedestrian environment of the street. These include the separation of the building into several distinct visual units via recessed alcoves, the variation in material along the front façade which reduces massing towards the street, the use of limestone and red brick is consistent with the residential character of surrounding historic dwellings, and the incorporation of a neutral colour palette. No additional mitigation measures are deemed necessary.

The following mitigation and conservation measures are recommended:

- That a Vibration Monitoring Plan be prepared for 54 Margaret Avenue to ensure that the dwelling which is located 20 metres from the proposed development is not

adversely impacted due to vibrations for the duration of excavation and construction activities.

- It is also recommended as a precautionary measure that construction fencing be erected around 54 Margaret Avenue to deter dust and debris and any accidental damage that could occur. It would also be encouraged that points of entry to the site during construction avoid this property, if possible, and that the storage of material and equipment be located away from the immediate area of the adjacent dwelling.

Additionally, the following measures are encouraged:

- That the park be named after a previous landowner (i.e. William and Margaret Young, D. S. Bowlby, Dr. Cornell, Albert Augustine, Kaufman family) in order to honour the former historical associations of the subject lands;
- That the proposed tree plantings along Margaret Avenue be of appropriate native species in order to enhance the character of the streetscape and neighbourhood.

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A

Appendix A: Terms of Reference

(received from Leon Bensason – April 3, 2013)

**City of Kitchener
Community Services Department - Planning Division
30-40 Margaret Avenue
Proposed Site Plan Application
Scoped Heritage Impact Assessment –Terms of Reference**

1.0 Background

A Heritage Impact Assessment is a study to determine the impacts to known and potential cultural heritage resources within a defined area proposed for future development. The study shall include an inventory of all cultural heritage resources within the planning application area. The study results in a report which identifies all known cultural heritage resources, evaluates the significance of the resources, and makes recommendations toward mitigative measures that would minimize negative impacts to those resources. A Heritage Impact Assessment may be required on a property which is listed on the City's Heritage Advisory Committee Inventory; listed on the City's Municipal Heritage Register; designated under the Ontario Heritage Act; or where development is proposed adjacent to a protected heritage property. The requirement may also apply to unknown or recorded cultural heritage resources which are discovered during the development application stage or construction.

These terms of reference have been scoped, based on the submission of a Heritage Impact Assessment which received conditional approval as part of a previous application made for the subject property. Sections not required are noted by strikethrough.

2.0 Heritage Impact Assessment Requirements

It is important to recognize the need for Heritage Impact Assessments at the earliest possible stage of development or alteration. Notice will be given to the property owner and/or their representative as early as possible. When the property is the subject of a Plan of Subdivision or Site Plan application, notice of a Heritage Impact Assessment requirement will typically be given at the pre-application meeting, followed by written notification to include specific terms of reference. The notice will inform the property owner of any known heritage resources specific to the subject property and provide guidelines to completing the Heritage Impact Assessment.

The following minimum requirements will be required in a Heritage Impact Assessment:

2.1 Present owner contact information for properties proposed for development and/or site alteration.

~~2.2 A detailed site history to include a listing of owners from the Land Registry Office, and a history of the site use(s).~~

~~2.3 A written description of the buildings, structures and landscape features on the subject property including: building elements, building materials, architectural and interior finishes, natural heritage elements, and landscaping. The description will also include a chronological history of the buildings' development, such as additions and demolitions.~~

The report shall include a clear statement of the conclusions regarding the cultural heritage value and interest as well as a bullet point list of heritage attributes. The statement should address the relationship of the property to the surrounding context (including surrounding properties located within the Civic Centre Neighbourhood Heritage Conservation District and the Margaret Avenue streetscape).

2.4 Documentation of the subject properties to include: current photographs of the property/each elevation of the buildings, photographs of identified heritage attributes and a site plan drawn at an appropriate scale to understand the context of the buildings and site details. Documentation shall also

include, where available, current floor plans, and historical photos, drawings or other available and relevant archival material.

2.5 An outline of the proposed development, its context, and how it will impact built heritage resources and cultural heritage landscapes (buildings, structures, and site details including landscaping). In particular, the potential visual and physical impact of the proposed development on identified heritage attributes of the subject property, neighbouring properties, the Civic Centre Neighbourhood Heritage Conservation District and the Margaret Avenue streetscape shall be assessed. For the purpose of the HIA the “proposed development” shall include both the proposed residential development and the temporary sales centre. The HIA shall also consider potential impacts associated with the proposed phasing of the development.

The Heritage Impact Assessment must consider potential negative impacts as identified in the Ministry of Tourism, Culture & Sport’s Ontario Heritage Tool Kit. Potential impacts may include those that are visual/contextual, as well as physical/structural. Negative impacts may include but are not limited to: alterations that are not sympathetic or compatible with the cultural heritage resource; demolition of all or part of a cultural heritage resource; etc. The outline should also address the influence and potential impact of the development on the setting and character of the Heritage Conservation District, including any impact on views or site lines.

2.6 Options shall be provided that explain how the cultural heritage resources may be conserved, relating to their level of importance. Methods of mitigation may include, but are not limited to preservation/conservation in situ, adaptive re-use, alternative development approaches, design guidelines, relocation, commemoration and/or documentation. Each mitigative measure should create a sympathetic context for identified cultural heritage resources.

2.7 A summary of the conservation principles and how they will be used must be included. The conservation principles may be found in publications such as: Parks Canada – Standards and Guidelines for the Conservation of Historic Places in Canada; Eight Guiding Principles in the Conservation of Built Heritage Properties, Ontario Ministry of Tourism, Culture & Sport; and, the Ontario Ministry of Tourism, Culture & Sport’s Ontario Heritage Tool Kit (all available online).

The HIA should also make reference to the specific policies and guidelines contained within the Civic Centre Neighbourhood Heritage Conservation District Plan.

2.8 Any loss of cultural heritage value (whether permanent or temporary) resulting from the proposed development (residential and sales centre) impacting the subject property, neighbouring properties, the Civic Centre Neighbourhood Heritage Conservation District or the Margaret Avenue streetscape, and which cannot be mitigated, shall be explained and justified.

2.9 Recommendations shall be as specific as possible, describing and illustrating locations, elevations, materials, landscaping, timing, etc.

2.10 The qualifications and background of the person(s) completing the Heritage Impact Assessment shall be included in the report. The author(s) must demonstrate a level of professional understanding and competence in the heritage conservation field of study. The report will also include a reference for any literature cited, and a list of people contacted during the study and referenced in the report.

3.0 Summary Statement and Conservation Recommendations

The summary statement should provide a full description of:

- The significance and heritage attributes associated with the subject property.
- The identification of any impact the proposed development will have on the heritage attributes of the subject property, neighbouring properties, the Civic Centre Neighbourhood Heritage Conservation District and the Margaret Avenue streetscape.

- An explanation of what conservation or mitigative measures, or alternative development or site alteration approaches are recommended.
- Clarification as to why specific conservation or mitigative measures, or alternative development or site alteration approaches are not appropriate.

4.0 —Mandatory Recommendation

~~The consultant must write a recommendation as to whether the subject properties are worthy of listing or designation under the Ontario Heritage Act. Should the consultant not support listing or designation then it must be clearly stated as to why not.~~

~~The following questions must be answered in the final recommendation of the report:~~

- ~~1. Do the properties meet the City of Kitchener's criteria for Listing on the Municipal Heritage Register as a Non-Designated Property of Cultural Heritage Value or Interest? Why or why not?~~
- ~~2. Do the properties meet the criteria for heritage designation under Ontario Regulation 9/06 of the Ontario Heritage Act? Why or why not?~~
- ~~3. Regardless of the failure to meet criteria for heritage designation, do the properties warrant conservation as per the definition in the Provincial Policy Statement? Why or why not?~~

5.0 Approval Process

Five (5) hard copies of the Heritage Impact Assessment and one electronic pdf format burned on CD shall be provided to Heritage Planning staff. Both the hard and electronic copies shall be marked with a "DRAFT" watermark background. The Heritage Impact Assessment will be reviewed by City staff to determine whether all requirements have been met and to review the preferred option(s). Following the review of the Heritage Impact Assessment by City staff, five (5) hard copies and one electronic copy of the final Heritage Impact Assessment ("DRAFT" watermark removed) will be required. The copies of the final Heritage Impact Assessment will be considered by the Director of Planning. Note that Heritage Impact Assessments may be circulated to the City's Heritage Kitchener Committee for information and discussion. A Site Plan Review Committee meeting may not be scheduled until the City's Heritage Kitchener Committee has been provided an opportunity to review and provide feedback to City staff.

Heritage Impact Assessments may be subject to a peer review to be conducted by a qualified heritage consultant at the expense of the City of Kitchener. The applicant will be notified of Staff's comments and acceptance, or rejection of the report. An accepted Heritage Impact Assessment will become part of the further processing of a development application under the direction of the Planning Division. The recommendations within the final approved version of the Heritage Impact Assessment may be incorporated into development related legal agreements between the City and the proponent at the discretion of the municipality.

B

Appendix B: 12 Margaret Avenue/ 116 Queen Street Designation By-law

OF THE

CORPORATION OF THE CITY OF KITCHENER

(Being a by-law to designate part of the property municipally known as 116 Queen Street North in the City of Kitchener as being of historical and architectural value)

WHEREAS Section 29 of the Ontario Heritage Act, R.S.O. 1980, Chapter 337, authorizes the Council of a Municipality to enact by-laws to designate real property, including all buildings and structures thereon, to be of historic and architectural value or interest;

AND WHEREAS the Council of The Corporation of the City of Kitchener has caused to be served on the owner of the lands and premises known municipally as 116 Queen Street North in the City of Kitchener, and upon the Ontario Heritage Foundation, a Notice of Intention to Designate as being of historic and architectural value that part of the aforesaid real property more particularly hereinafter described, and has caused such Notice of Intention to be published in a newspaper having general circulation in the municipality once for each of three consecutive weeks;

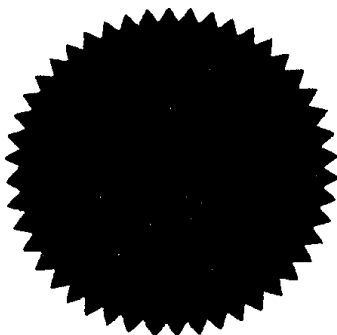
AND WHEREAS no Notice of Objection to the proposed designation has been served upon the Clerk of the Municipality;

NOW THEREFORE the Council of The Corporation of the City of Kitchener enacts as follows:

1. There is designated as being of historic and architectural value that part of the aforesaid real property known as 116 Queen Street North being comprised of the portions of the wrought iron fence stretching from the drive beside the Church along Margaret Avenue to Queen Street and the section along Queen Street stretching to the Church property.

2. The City Solicitor is hereby authorized to cause a copy of this By-law to be registered against the whole of the property described in Schedule "A" hereto (of which the said designated area forms a part) in the proper land registry office.
3. The Clerk is hereby authorized to cause a copy of this By-law to be served on the owner of the aforesaid property and on the Ontario Heritage Foundation and to cause notice of the passing of this By-law to be published in the same newspaper having general circulation in the community once for each of three consecutive weeks.

PASSED at the Council Chambers in the City of Kitchener
this 15TH day of July, A.D. 1985.



D. V. Cardillo Mayor
[Signature] Clerk

ALL AND SINGULAR those certain parcels or tracts of land and premises situate, lying and being in the City of Kitchener, in the Regional Municipality of Waterloo and in the Province of Ontario, being composed of Lots 223 and 224 and Part of Lots 225, 212 and 214 Registered Plan 374 and Part of Lot 58 Streets and Lanes (Closed by By-law No. 354, registered as Instrument Number 76505 for the City of Kitchener) in the City of Kitchener and in the Regional Municipality of Waterloo

COMMENCING at the Southeasterly angle of said Lot 223 where same is intersected by the Northerly limit of Margaret Avenue and the Westerly limit of Queen Street as shown on said Plan 374;

THENCE North 31 degrees 12 minutes East, along the said Westerly limit of Queen Street, 184.8 feet to a point in the Easterly limit of said Lot 225;

THENCE North 58 degrees 58 minutes West, parallel with the Northerly limit of said Lot 225, 132 feet to a point;

THENCE North 31 degrees 12 minutes East, 15 feet to a point in the Northerly limit of said Lot 225;

THENCE North 58 degrees 58 minutes West, along the said Northerly limit of Lot 225 and its production Westerly, 90 feet to a point;

THENCE South 31 degrees 12 minutes West, 10.1 feet to a point;

THENCE South 59 degrees 5 minutes East, 16.5 feet to a point;

THENCE South 30 degrees 35 minutes West, parallel with the Easterly limit of said Lot 214, 189.2 feet to a point in the said Northerly limit of Margaret Avenue;

THENCE along the same, South 58 degrees 48 minutes East, 203.5 feet to the Point of Commencement.

SUBJECT TO: a Right-of-Way over part of said Lot 214 as set out in Deed registered as Instrument Number A-82588, and

TOGETHER WITH: a Right-of-Way over part of said Lot 214 being a strip of land 6 feet in even perpendicular width extending Northerly a distance of 189.2 feet from the Northerly limit of Margaret Avenue and lying to the West of an immediately adjoining the Westerly limit of the herein described parcel of land.

(Said parcel of land is intended to be the same as that in Instrument Number A-82588.)

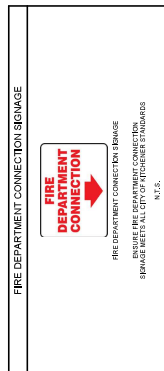
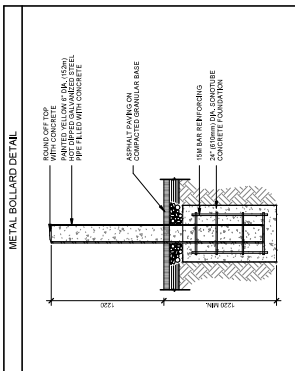
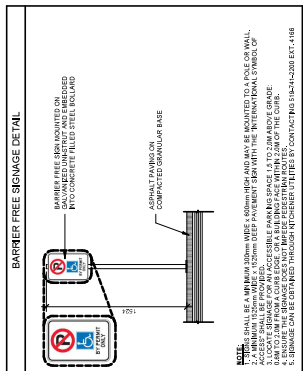
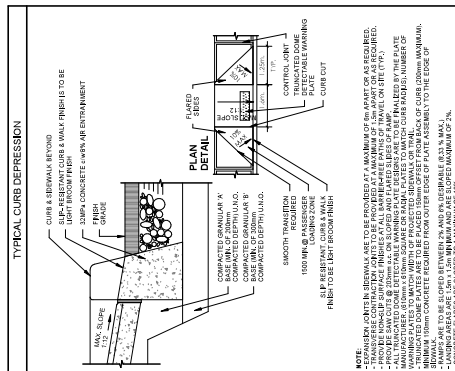
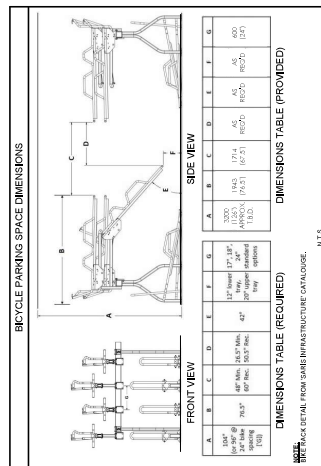
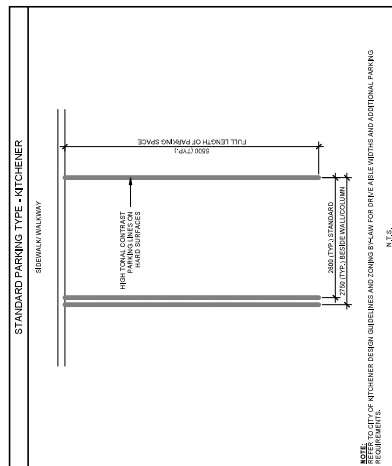
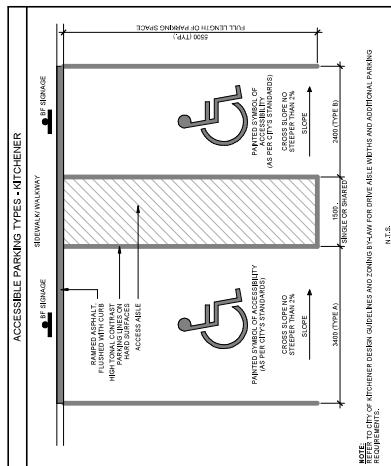
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Appendix C: Site Plan, Elevations, and Renderings of the Proposed Development

25016 | 30-40 Margaret Ave, Kitchener, ON N2H 4H1

mcCallumSather

[illegible]

[illegible]

PROJECT	THE WRENFORD	
	30-40 Margaret Ave, Kitchener, ON N2H 4H1	
DATE/TITLE	ZONING DATA AND SITE DETAILS	
SHEET NO.	PROJECT NUMBER	SCALE
	250166	AS SHOWN
PROJECT NO.	SP.1.2	
DATE/REV.		

AREA FILING SYSTEM LEGEND

COMMON AREAS

SERVICE FANNING

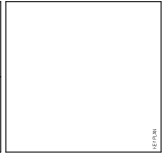
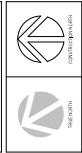
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AMENITY

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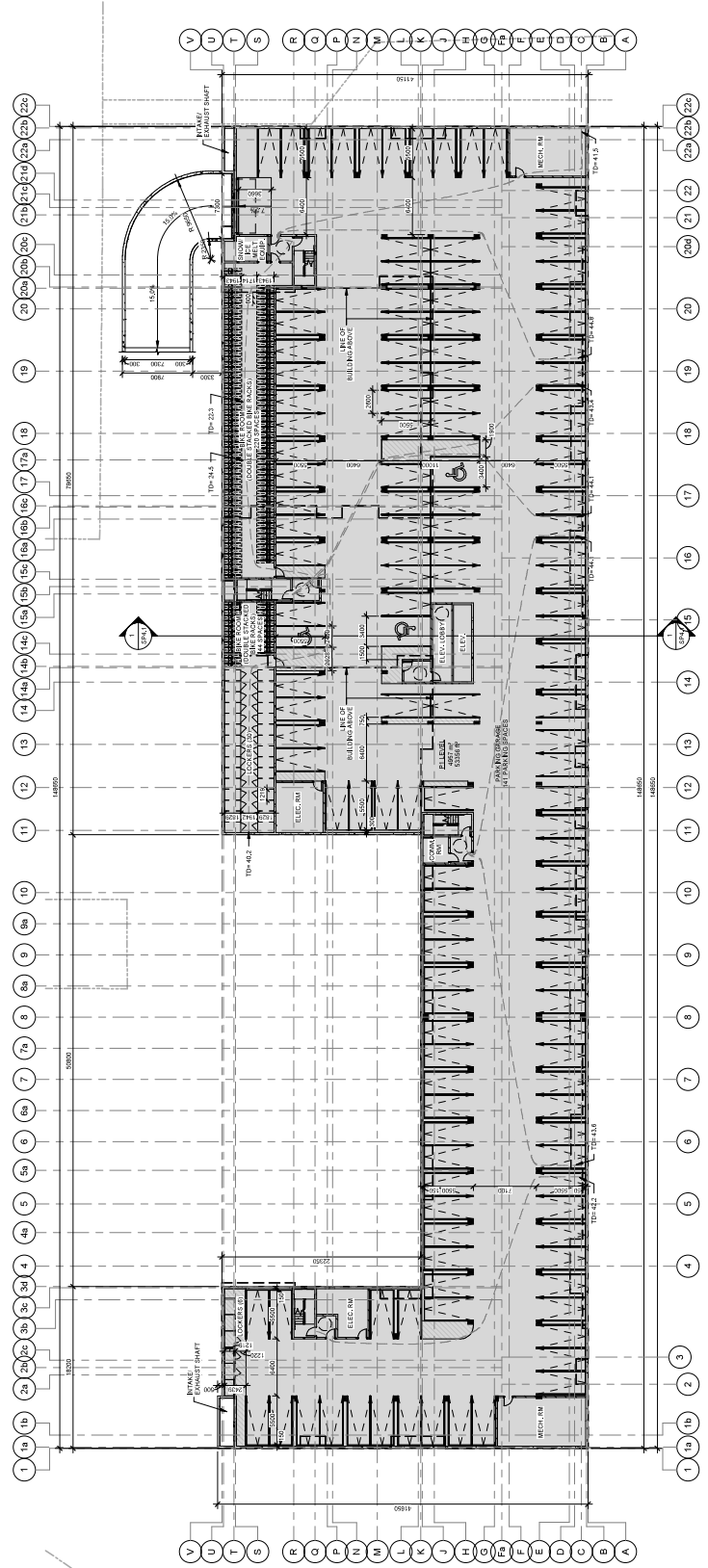


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PARKING LEVEL

 <p>TEKİN KURAN MİLLÎ EĞİTİM BAKANLIĞI</p>	 <p>TEKİN KURAN T.C. MİLLÎ EĞİTİM BAKANLIĞI</p>
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Issued for 50% Schematic Design	2025/07/08
Issued for 100% Schematic Design	2025/08/01
Issued for Conditional Approval	2025/10/03
Issued for Site Plan Approval	
Issued for Design Development	
Issued for Permit	
Issued for Tender	
Issued for Construction	

DATE	PROJECT #	DATE
PC 0106		

1. FOREMAN IS NOT BE REPORTED IMMEDIATELY TO THE DISTRICT OFFICER AND/OR PROSECUTOR.
 ONLY QUALIFIED PERSONNEL MUST BE USED.
 2. TRUE CONTRACTOR MUST CHECK THE DRAWING ON THE
 DATE.
 3. THE DRAWING IS PROTECTED BY COPYRIGHT.
 4. ALL DIMENSIONS ARE SHOWN IN FEET AND INCHES.
 5. DO NOT SCALE THE DRAWINGS.



PROJECT
THE WRENFORD
30-40 Margaret Ave, Kitchener, ON
M2H 1A1

SHEET NO.	SCALE
ARCH-D-1810(9/14)	
PROJECT NO. 25016	

SP2.2



AREA FUNCTION LEGEND

COMMON AREAS

SERVICE PARKING

1 BEDROOM + DEN

2 BEDROOM + DEN

3 BEDROOM + DEN

AMENITY

OFFICE



12/15/18

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LEVEL 2

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AREA FUNCTION LEGEND

COMMON AREAS

SERVICE PARKING

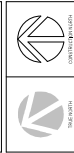
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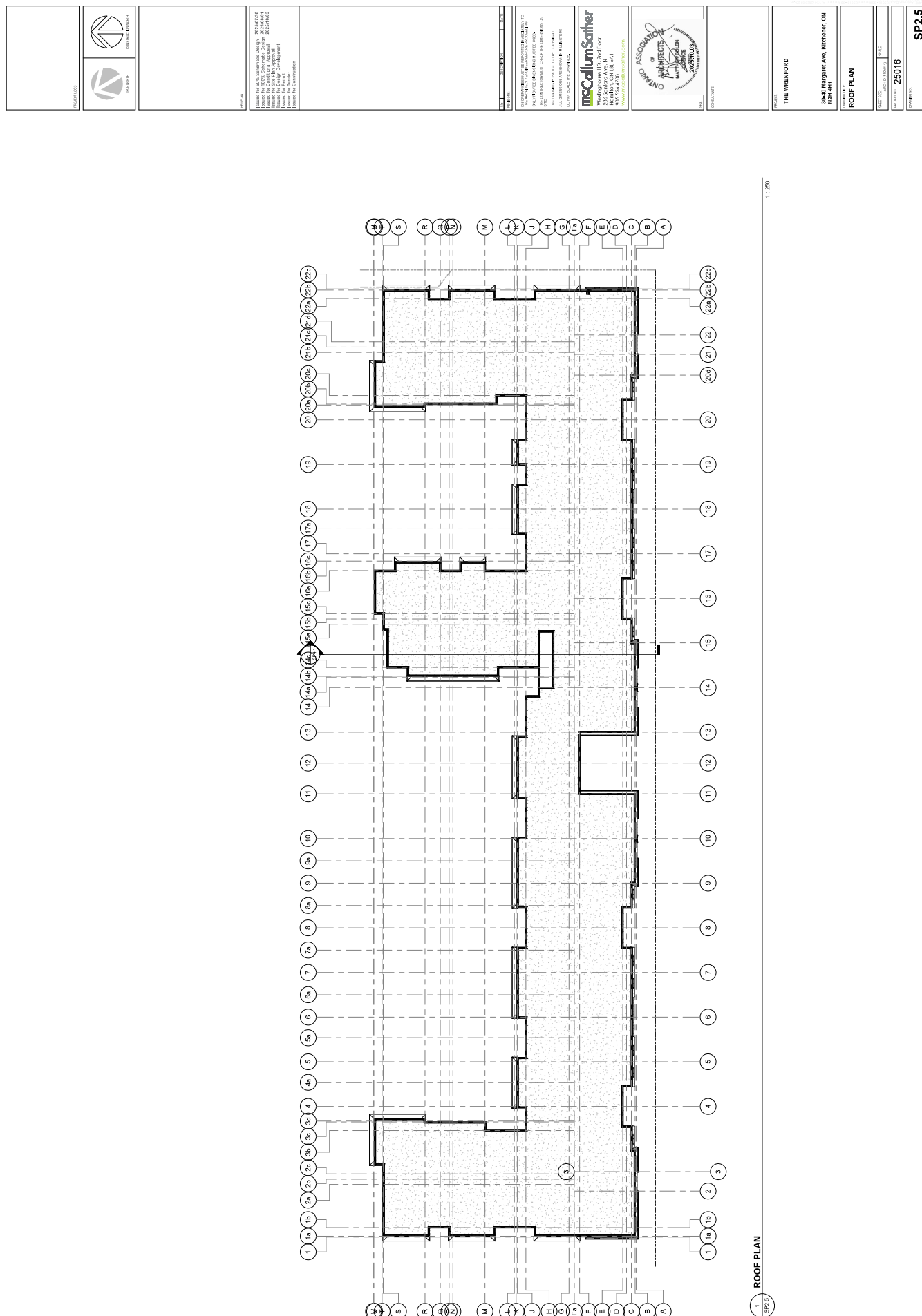
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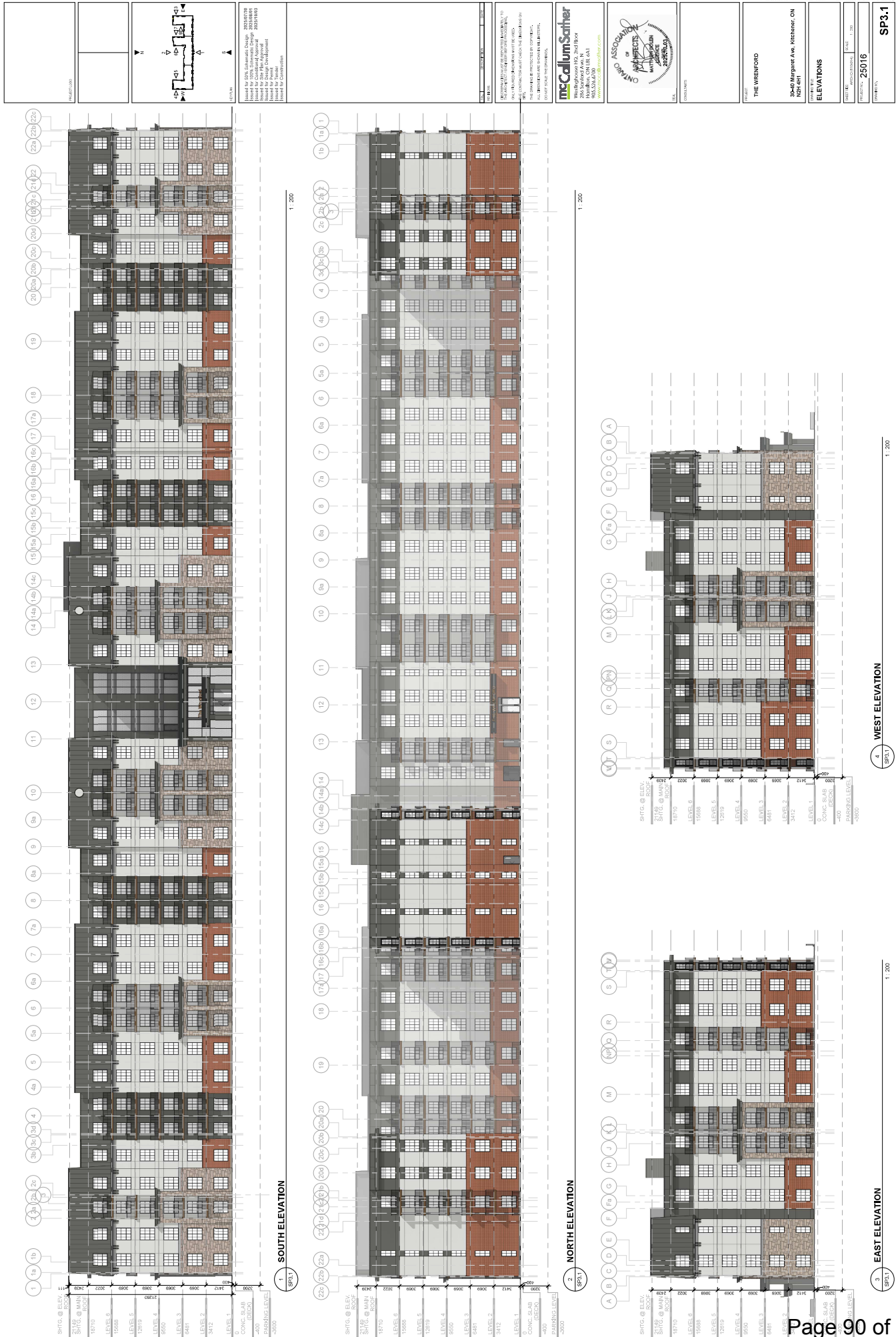
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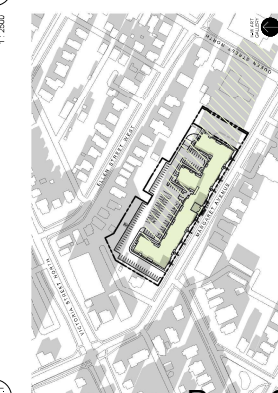
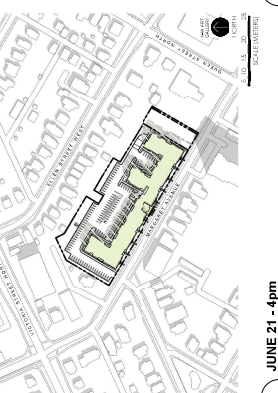
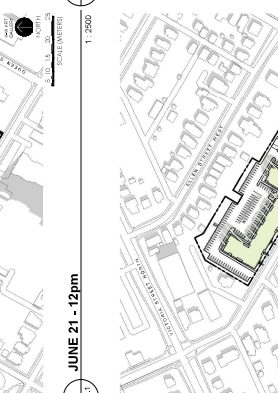
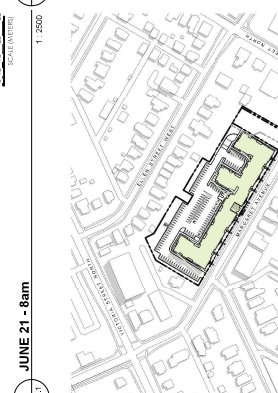
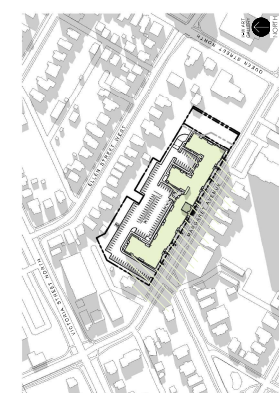


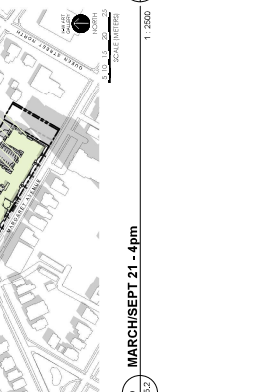
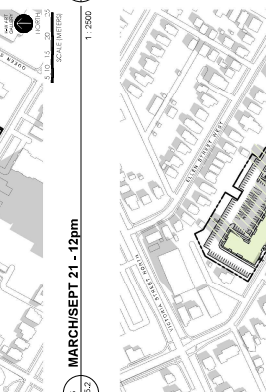
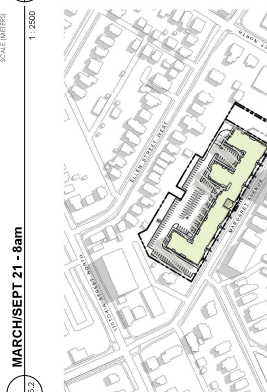
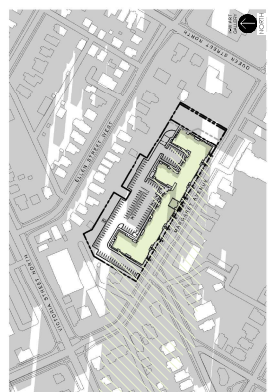


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D

Appendix D: Shadow Study



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E

Appendix E: Angular Plane Analysis



1 : 200



EAST ELEVATION (INSIDE WING)



EAST ELEVATION - ANGULAR PLANE

F

Appendix F: CVs

Education

University of Waterloo

Masters of Arts (Planning)

University of Waterloo

Bachelor of Environmental Studies

University of Saskatchewan

Bachelor of Arts (Art History)

Professional Associations

Registered Professional Planner

Full Member, Canadian Institute of Planners (CIP)

Full Member, Ontario Professional Planners Institute (OPPI)

Professional Member, Canadian Association of Heritage Professionals

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Dan Currie

BA, BES, MA, MCIP, RPP, CAHP

Dan Currie, a Partner and Managing Director of MHBC's Cultural Heritage Division, joined MHBC Planning in 2009, after having worked in various positions in the public sector since 1997. Dan provides a variety of planning services for public and private sector clients including a wide range of cultural heritage policy and planning work including strategic planning, heritage policy, heritage conservation district studies and plans, heritage master plans, cultural heritage evaluations, heritage impact assessments and cultural heritage landscape studies.

Selected Project Experience

Heritage Conservation District Studies and Plans

- Streetsville Heritage Conservation District Plan (underway)
- Amherstburg Heritage Conservation District Plan (underway)
- Melville Street Heritage Conservation District Plan (underway)
- Stouffville Heritage Conservation District Plan (2022)
- Alton Heritage Conservation District Study, Caledon (2021)
- Port Stanley Heritage Conservation District Plan (2021)
- Port Credit Heritage Conservation District Plan, Mississauga (2018)
- Town of Cobourg Heritage Conservation District Plan updates (2016)
- Rondeau Heritage Conservation District Plan, Chatham Kent (2016)
- Barriefield Heritage Conservation District Plan Update, Kingston (2015)
- Victoria Square Heritage Conservation District Study, Markham (2015)
- Bala Heritage Conservation District Study and Plan, Township of Muskoka Lakes (2015)
- Brooklyn and College Hill Heritage Conservation District Plan, Guelph (2014)
- Garden District Heritage Conservation District Study and Plan, Toronto (2014)
- Downtown Meaford Heritage Conservation District Study and Plan (2013)

Heritage Master Plans and Management Plans

- City of Guelph Cultural Heritage Action Plan (2020)
- Town of Cobourg Heritage Master Plan (2016)
- Burlington Heights Heritage Lands Management Plan (2016)
- City of London Western Counties Cultural Heritage Plan (2014)

Cultural Heritage Evaluations

- Township of Tiny Heritage Register Review (on going)
- City of Barrie Heritage Register Review (2024)
- Aurora Heritage Register Review (2022)
- MacDonald Mowatt House, University of Toronto (2020)
- Designation of Main Street Presbyterian Church, Town of Erin (2019)
- Designation of St. Johns Anglican Church, Norwich (2019)
- Cultural Heritage Landscape evaluation, former Burlingham Farmstead, Prince Edward County (2018)
- City of Kitchener Heritage Property Inventory Update (2016)
- Niagara Parks Commission Queen Victoria Park Cultural Heritage Evaluation (2016)

Heritage Impact Assessments

- Redevelopment of former amusement park, Boblo Island (2022)
- Mount Pleasant Islamic Centre, Brampton (2020)
- Demolition of former farmhouse at 10536 McCowan Road, Markham (2020)
- Redevelopment of former Goldie and McCullough factory, Cambridge (2019)
- Redevelopment of historic Waterloo Post Office (2019)
- Redevelopment of former industrial facility, 57 Lakeport Road, Port Dalhousie (2018)
- Redevelopment of former Brick Brewery, Waterloo (2016)
- Homer Watson House Heritage Impact Assessment, Kitchener (2016)
- Expansion of Schneider Haus National Historic Site, Kitchener (2016)
- Heritage Impact Assessment for Pier 8, Hamilton (2015)
- Redevelopment of former American Standard factory, Cambridge (2014)

Heritage Assessments for Infrastructure Projects and Environmental Assessments

- Edgerton Bridge Assessment, Scugog (2024)
- Heritage and Cultural Heritage Landscape Assessment of Twenty Mile Creek Arch Bridge, Town of Lincoln (2021)
- Heritage Evaluation of Deer River, Burnt Dam and MacIntosh Bridges, Peterborough County (2021)
- Heritage Assessment of 10 Bridges within Rockcliffe Special Policy Area, Toronto (2019)
- Blenheim Road Realignment Collector Road EA, Cambridge (2014)
- Badley Bridge EA, Elora (2014)
- Black Bridge Road EA, Cambridge (2013)

Conservation Plans

- Conservation Plan for Log house, Burgetz Ave., Kitchener (2020)
- Conservation and Construction Protection Plan - 54 Margaret Avenue, Kitchener (2019)
- Black Bridge Strategic Conservation Plan, Cambridge (2013)

Tribunal Hearings:

- Redevelopment 18 Portland Street, Toronto (OLT) (2023)
- Redevelopment 292 Main Street, Grimsby (OLT) (2023)
- Redevelopment 1919 to 1949 Devonshire Court, Windsor (OLT) (2023)
- Redevelopment 9 Dee Road, Queenston (OLT) (2023)
- Redevelopment 18314 Hurontario Street, Caledon Village (OLT) (2023)
- Redevelopment 217 King Street S, Waterloo (OLT) (2022)
- Redevelopment 147 Main Street, Grimsby (OLT) (2022)
- Redevelopment of 12 Pearl Street, Burlington (OLT) (2021)

- Designation of 30 Ontario Street, St. Catharines (CRB) (2021)
- Designation of 27 Prideaux Street, Niagara on the Lake (CRB) (2021)
- Redevelopment of Langmaids Island, Lake of Bays (LPAT) (2021)
- Redevelopment of property at 64 Grand Ave., Cambridge (LPAT) (2019)
- Youngblood subdivision, Elora (LPAT) (2019)
- Demolition 174 St. Paul Street (Collingwood Heritage District) (LPAT) (2019)
- Port Credit Heritage Conservation District (LPAT) (2018)
- Brooklyn and College Hill HCD Plan (OMB) (2015)
- Rondeau HCD Plan (OMB) (2015)
- Designation of 108 Moore Street, Bradford (CRB) (2015)
- Downtown Meaford HCD Plan (OMB) (2014)

Master Plans, Growth Management Strategies and Policy Studies

- Township of West Lincoln East Smithville Secondary Plan (2022)
- Town of Frontenac Islands Maryville Secondary Plan (2021)
- Niagara-on-the-Lake Corridor Design Guidelines (2016)
- Cambridge West Master Environmental Servicing Plan (2013)
- Meadowlands Conservation Area Management Plan (2013)
- Township of Tiny Residential Land Use Study (2012)
- Port Severn Settlement Area Boundary Review (2012)
- Ministry of the Environment Review of the D-Series Land Use Guidelines (2012)
- Ministry of Infrastructure Review of Performance Indicators for the Growth Plan (2011)
- Township of West Lincoln Intensification Study and Employment Land Strategy (2011)
- City of Kawartha Lakes Growth Management Strategy (2010)

Development Planning

Provide consulting services for municipal and private sector clients for:

- Secondary Plans
- Draft plans of subdivision
- Consent
- Official Plan Amendment
- Zoning By-law Amendment
- Minor Variance
- Site Plan

Education

Willowbank School of Restoration Arts

Diploma in Heritage Conservation
2024

Messors Field School

Art Conservation and Cultural
Heritage Landscapes Workshop
Completed
2023

University of California: Santa Cruz

Bachelor of Arts in History
2010

Professional Associations

Intern Member,
**Canadian Association of
Heritage Professionals (CAHP)**

Provincial Board Director at Large
and Education Committee Member,
**Architectural Conservancy of
Ontario (ACO)**

Emerging Professional Member,
**International Council on
Monuments and Sites (ICOMOS)**

Member,
**Canadian Association for
Conservation of Cultural
Property (CAC)**

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Christy Kirwan

BA, Dipl., CAHP-Intern

Christy is a Heritage Planner with MHBC who joined the firm in 2023. She holds a Diploma in Heritage Conservation from the Willowbank School of Restoration Arts and a Bachelor's Degree in History from the University of California: Santa Cruz where she graduated *cum laude* with Department Honours and College Honours. Christy has experience in research and report writing for both public and private sector clients. She has completed historical research, inventory work, and evaluation on a variety of projects, including cultural heritage landscapes, cultural heritage evaluation reports, and heritage impact assessments. She currently serves on the Provincial Board of Directors of the Architectural Conservancy of Ontario.

Prior to joining MHBC, Christy gained experience as a Heritage Intern for the Town of Grimsby. She has also received hands-on training from the Messors Field School in art and monument restoration and previously worked in the skilled trades restoring heritage buildings and fine furniture.

Professional History

Heritage Planner, MacNaughton Hermsen Britton Clarkson Planning Limited
(2023 – Present)

Heritage Carpentry Apprentice, Bruce Chambers Period Furniture Ltd.
(2023)

Heritage Intern, Town of Grimsby
(2023)

Heritage Contractor, DJ McRae Heritage Restoration
(2022)

Project Experience

Cultural Heritage Landscapes

- Doctor's Lane, King City and Old King Road, Nobleton, Township of King

Heritage Conservation Districts

- Melville Street Heritage Conservation District Plan, Hamilton

Municipal Heritage Inventories

- Township of Tiny, 31 properties
- City of Barrie, 13 properties

Cultural Heritage Impact Assessments

- 43 Mill Street West, Elora
- 7631 Creditview Road, Brampton
- 473 Ontario Street, Cobourg
- 230 North Centre Road, London
- 3563 Bostwick Road, London
- 1930-1934 Sideroad 5, Bradford West Gwillimbury
- 260 Main Street West, Grimsby
- 185 Third Street, Collingwood
- 228 McNeilly Road, Hamilton
- 1069 Highway 8, Hamilton
- 119 Sideroad 19, Fergus
- Mount Zion United Church, 473 Ridgewood Crescent, London
- 66 Banfield Street, Paris
- 1940 Fischer-Hallman Road, Kitchener
- 141 Laurel Street, Cambridge
- 5480 Major Mackenzie Drive, Markham
- 193, 195, 197 & 199 College Avenue, London
- 63 Courtland Avenue East, Kitchener
- 300-306 King Street West, Hamilton
- 35 Elgin Street, Collingwood
- 743 Richmond Street, London
- 11 Roy Street & 68 Queen Street North, Kitchener
- 145-152 Central Avenue, London
- 96 Main Street East, Hamilton
- 273 Main Street North, Brampton
- The London Children's Museum, 21 Wharnccliffe Road South, London
- 531 Talbot Street, 535-537 Talbot Street/105 Kent Street, 101 Kent Street, London
- 1880 Assumption Street, Windsor
- Sulphur Spring of Ancaster, 820 Sulphur Springs Road, Hamilton

Cultural Heritage Evaluation Reports

- 8 St Andrews Avenue, Grimsby
- 12 St Andrews Avenue, Grimsby

- 934322 Airport Road, Mono
- 986 Powerline Road, Brant
- 53 St. Laurent Drive, Richmond Hill
- 4267 Manning Drive, London
- 677-681 4th Concession Road West, Flamborough, Hamilton
- Parry Sound Post Office, 74 James Street, Parry Sound

Conservation Plans

- 18 Portland Street, Toronto
- 19 East Mill Street, Elora

Documentation & Salvage Plans

- 3078 Regional Road 56, Binbrook, Hamilton
- 5515 Garrard Road, Whitby

Heritage Assessments for Infrastructure Projects and Environmental Assessments

- Edgerton Road Municipal Bridge No. 11, Blackstock, Township of Scugog
- Warminster Sideroad, Township of Oro-Medonte
- Shoreline Drive, Township of Oro-Medonte
- Faris Avenue Watermain Expansion, Nobleton, Township of King

Heritage Permit Applications

- 43 Mill Street West, Elora
- 7631 Creditview Road, Brampton
- 2051 Davis Drive, Whitchurch-Stouffville

Heritage By-law Peer Reviews

- St. Mary's Ukrainian Catholic Church, 3625 Cawthra Road, Mississauga
- Trinity Anglican Church, 26 Stavebank Road, Mississauga
- New Apostolic Church, 160 Margaret Avenue, Kitchener
- 2 Guelph Street, Georgetown, Halton Hills

Hands-On Conservation Projects

- St. Paul's Anglican Church, Coulson's Hill, Bradford West Gwillimbury, Ontario
 - Restoration and painting of 1887 Gothic doors
- Byzantine Rupestrian Cave Frescoes, Alta Murgia, Italy
 - Mechanical frescoe cleaning
 - Cellulose poultice frescoe cleaning
 - Plaster infilling and consolidation
- Burwash Hall, University of Toronto, Toronto, Ontario
 - Stone masonry conservation
 - Window installation
- Cathedral of St. Alban the Martyr, Toronto, Ontario
 - Cathedral window woodwork restoration
- 16 Elm Avenue, Branksome Hall, Toronto, Ontario
 - Brick masonry restoration
- Bishop Strachan School, Toronto, Ontario
 - Window restoration and reglazing

- St. Mark's Cemetery, Niagara-on-the-Lake, Ontario
 - Headstone monument conservation
- Willowbank National Historic Site, Queenston, Ontario
 - Decorative plaster repair
 - Wood window restoration
 - Historic flooring restoration
 - Stonework crack repair
 - Historic painting

Education

Fanshawe College
GIS and Urban Planning
2020

University of Seoul, South Korea
Bachelor of Urban Planning
2005

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Paul Jae Woong Lee

BE

Paul Jae Woong Lee, a Technician with MHBC, joined the firm in 2022 and provides a variety of technical design and drafting services for public and private sector clients.

Prior to working for MHBC, Paul received his GIS & Urban Planning Diploma from Fanshawe College in 2020 and worked as a draft technician at a consulting firm.

Before Paul came to Canada, he also received a bachelor's degree in urban planning from the University of Seoul and worked as an urban planner in Korea. He is in the process of becoming a member of the Canadian Association of Certified Planning Technicians.

Professional History

Planning & Design Technician, MacNaughton Hermesen Britton
Clarkson Planning Limited (2022 – Present)

Drafting Technician, GeoPro Consulting Limited (2020 – 2021)

GIS Technician (Co-Op Student), Aamjiwnaang First Nation (2019)

Planner, Dongbu Engineering Co., Ltd. (South Korea) (2016-2017)

Planner, JU Engineering Co., Ltd. (South Korea) (2014-2016)

Planner, DOHWA Engineering Co., Ltd. (South Korea) (2005-2014)

REPORT TO: Heritage Kitchener

DATE OF MEETING: January 6, 2026

SUBMITTED BY: Garrett Stevenson, Director of Development and Housing Approvals, 519-783-8922

PREPARED BY: Deeksha Choudhry, Heritage Planner, 519-783-8906

WARD(S) INVOLVED: Ward 9

DATE OF REPORT: December 5, 2025

REPORT NO.: DSD-2026-005

SUBJECT: Notice of Intention to Designate 160 Courtland Avenue East under Part IV of the Ontario Heritage Act

RECOMMENDATION:

That pursuant to Section 29 of the Ontario Heritage Act, the Clerk be directed to Publish a Notice of Intention to Designate the property municipally addressed as 160 Courtland Avenue East as being of cultural heritage value or interest.

REPORT HIGHLIGHTS:

- The purpose of this report is to request that Council direct the Clerk to publish a Notice of Intention to Designate the property municipally addressed as 160 Courtland Avenue East under Part IV of the Ontario Heritage Act.
- As part of the City's response to changes enacted to the *Ontario Heritage Act* by Bill 23, an updated Statement of Significance on the property's cultural heritage value was taken to the Heritage Kitchener Committee on November 5, 2024. On this meeting date, the Committee recommended that pursuant to Section 29 of the *Ontario Heritage Act*, the cultural heritage value or interest of 160 Courtland Avenue East be recognized and designation pursued.
- The key finding of this report is that the property municipally addressed as 160 Courtland Avenue East meets the criteria for designation under Ontario Regulation 9/06 (amended by Ontario Regulation 569/22) and has been confirmed to be a significant cultural heritage resource. The property is recognized for its design/physical, historical/associative, and contextual values.
- There are no financial implications associated with this recommendation
- Community engagement included informing residents by posting this report with the agenda in advance of the Heritage Kitchener committee meeting, providing written correspondence to the property owner, and consulting with Heritage Kitchener. In addition, should Council choose to give notice of its intention to designate, such notice will be served to the Owner and the Ontario Heritage Trust.
- This report supports the delivery of core services.

BACKGROUND:

160 Courtland Avenue East is a two-storey 20th-century brick building. The building was originally constructed in the Edwardian Classism architectural style. The building is situated on a 1.71 acre parcel of land located on the north east corner of Courtland Avenue East and Cedar Street South in the Mill Courtland Woodside Park neighborhood of the City of Kitchener within the Region of Waterloo. The principal resource that contributes to the heritage value is the school.



Figure 1. Location Map of 160 Courtland Avenue East

A full assessment of the 160 Courtland Avenue East has been completed and included a field evaluation and detailed archival research. The findings concluded that the subject property meets the criteria for designation. An updated Statement of Significance on the property's cultural heritage value was taken to the Heritage Kitchener Committee on November 5, 2024. On this meeting date, the Committee recommended that pursuant to Section 29 of the Ontario Heritage Act, the cultural heritage value or interest of the Church be recognized and designation pursued. This work was undertaken as part of the City of Kitchener Municipal Heritage Register (MHR) Review, initiated in February of 2023. The MHR Review is the City's response to amendments of the Ontario Heritage Act introduced in January of 2023 through Bill 23, the More Homes Built Faster Act. The City contacted owners of the listed properties through an initial letter dated May 23, 2023, to inform them of this undertaking. The property owners were contacted via a second letter dated November 6, 2024. Staff have not heard from the property owners.

Per standard procedure, should Council support the Notice of Intention to Designate, Owners will be contacted a third time through a Notice of Intention to Designate (NOID) Letter. An ad for the NOID will also be published in a newspaper. Once the letter is served

and the ad posted, there will be a 30-day appeal period in which Owners may object to the designation.

REPORT:

Identifying and protecting cultural heritage resources within the City of Kitchener is an important part of planning for the future, and helping to guide change while conserving the buildings, structures, and landscapes that give the City of Kitchener its unique identity. The City plays a critical role in the conservation of cultural heritage resources. The designation of property under the *Ontario Heritage Act* is the main tool to provide long-term protection of cultural heritage resources for future generations. Designation recognizes the importance of a property to the local community; protects the property's cultural heritage value; encourages good stewardship and conservation; and promotes knowledge and understanding about the property. Designation not only publicly recognizes and promotes awareness, but it also provides a process for ensuring that changes to a property are appropriately managed and that these changes respect the property's cultural heritage value and interest.



Figure 2. Front Façade of the School.

160 Courtland Avenue East is recognized for its design/physical, historical/associative, and contextual values (Fig.2) It satisfies four (4) of the nine (9) criteria for designation under Ontario Regulation 9/06 (amended by Ontario Regulation 569/22). A summary of criteria that is met or not met is provided in the table below.

Criteria	Criteria Met (Yes/No)
1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, material, or construction method.	Yes
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	No
3. The property has design or physical value because it demonstrates a high degree of technical or scientific achievement.	No
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.	Yes
5. The property has historical or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.	No
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.	No
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.	Yes
8. The property has contextual value because it is physically, functionally, visually, or historically linked to its surroundings.	Yes
9. The property has contextual value because it is a landmark.	No

Design/Physical Value

The property municipally addressed as 160 Courtland Avenue East demonstrates design/physical value as an early institutional example of 20th-century Edwardian Classicism architectural style, with later additions added to the property. The original building constructed circa 1922-1925 faces Courtland Ave East. Sometime before the construction of the 1974 addition, a recessed two storey addition was added on the east façade. Further east of the two-story addition is a 1974 addition that is lower in height and projects forward at both the rear and front façade of the original building and the previous addition. A small addition to the rear façade that projects from the original structure was added sometime after the 1974 addition. Additionally, at an unknown date the roofline of the original circa 1922-1925 building was altered with a half storey addition.

The circa 1922-1925 structure at 160 Courtland Avenue East demonstrates key characteristics of the Edwardian Classicism style including many windows, a more compact and simplified massing, straight rooflines and simple detailing, and some classical features such as voussoirs and keystones.

Historical/Associative Value

The historical and associative value of 160 Courtland Avenue East relates to its direct association with public education and the catholic school system within Kitchener. The building was constructed circa 1922-1925 by a separate school board. As new settlers

arrived in the area bringing with them Catholic and Lutheran beliefs, these communities identified a need for schools that would offer their children faith-based education and foster both their spiritual and academic growth. Catholic education in Waterloo Region began in 1836 with the creation of the schools St. Agatha in 1835-1836, and St. Boniface in 1836. Both schools, though they have undergone many renovations, still exist today.

160 Courtland Avenue East also has historical value due to its direct association with St. Joesph's Church. To the east of the school is St. Joesph's Church, municipally addressed as 148 Madison Avenue South. The land for the church was purchased from the School Board in 1930, for a total of \$3000. Prior to the construction of a basement chapel on the newly purchased property, mass was held in St. Joesph's school. Before it closed in 2004, St. Joesph's school was considered St. Joesph's "parish school." Many families whose children attended St. Joesph's school were also members of the St. Joesph's congregation.

Contextual Value

The contextual value of 160 Courtland Avenue East relates to its importance in maintaining the character of the Cedar Hill Cultural Heritage Landscape. The subject property and the surrounding area have been identified as being a Cultural Heritage Landscape (CHL) by the 2014 City of Kitchener Cultural Heritage Landscape Study. Key characteristics of this CHL include brick or the appearance of brick, topography of land, and a mingling of early and late housing with institutional buildings; a pattern of development that was not traditionally practiced in Ontario past 1920s in planned communities. The presence of 160 Courtland Avenue East as a school since its establishment contributes to the "completeness" of the Cedar Hill neighborhood.

The school is also physically, functionally, visually, and historically linked to its surroundings. The school is situated at its original location and continues its original function as a school. It maintains its historical connections to adjacent property, specifically St. Joseph's Church.

Other Values

Social Values

Maple Grove School has social value as a place of education. This building has been providing this service since its construction circa 1922-1925, and its operations were central to the function of the surrounding community. It remains a prominent place of importance within the Cedar Hill neighborhood serving as one of the neighborhoods notable institutional buildings. Schools often provide social value for a community, acting as a source of socialization and learning for children. Additionally, when the school served as the original location of St. Joesph's congregation before the basement chapel was constructed, it served as a place where people gathered and socialized and created community connections that can still be seen today in St. Joesph's church and the surrounding community.

Heritage Attributes

The heritage value of 160 Courtland Avenue East resides in the following heritage attributes:

The heritage value of 160 Courtland Avenue East resides in the following heritage attributes:

All elements related to the design/physical value of the original c. 1922-1925 brick school building as an example of the Edwardian Classism style including:

- The location, massing, and orientation of the building;
- Flat roof and roofline;
- Red brick construction;
- Cast concrete foundation;
- The classical main entryway with rounded transom and sidelights;
- A voussoir arch with a stone keystone;
- Piers and entablature that features a plain architrave and frieze;
- Moulded cornice with dentils;
- A stone sign that reads “St. Joesph’s School”;
- A stone course belt above the second floor windows;
- Fenestration pattern of the windows with stone sills and an enclosed transom on the front (south) façade, side (west) and rear (north) elevations:
 - o 5 window openings on each storey on each side of the front façade;
 - o The central window openings with two windows openings on each side on the central portion of the upper storey of the front facade;
 - o Windows openings on either side of the central door surround on the front façade;
 - o Rectangular window openings on the concrete foundation;
 - o 2/2 window openings on the side (west elevations);
 - o 5 window openings on either side of the each storey on the rear façade, with four openings on each storey in the central portion of the building.

All elements related to the contextual value of the property, including:

- Original location of the school; and
- Orientation of the school with the front elevation facing Courtland Avenue East.

STRATEGIC PLAN ALIGNMENT:

This report supports the delivery of core services.

FINANCIAL IMPLICATIONS:

Capital Budget – The recommendation has no impact on the Capital Budget.

Operating Budget – The recommendation has no impact on the Operating Budget.

COMMUNITY ENGAGEMENT:

INFORM – This report has been posted to the City’s website with the agenda in advance of the Heritage Kitchener committee meeting.

PREVIOUS REPORTS/AUTHORITIES:

- [Municipal Heritage Register Review – November 2024 Update – DSD-2024-444](#)
- [Ontario Heritage Act, 2022](#)

REVIEWED BY: Sandro Bassanese, Manager of Site Plan

APPROVED BY: Justin Readman, General Manager, Development Services

ATTACHMENTS: Attachment A – Statement of Significance – 160 Courtland Avenue East Street

STATEMENT OF SIGNIFICANCE

160 Courtland Avenue East



Summary of Significance

☒ Design/Physical Value
☒ Historical Value
☒ Contextual Value

☒ Social Value
☐ Economic Value
☐ Environmental Value

Municipal Address: 160 Courtland Avenue East

Legal Description: Plan 395 Part Lot 1, 2 & 7; Plan 404 Lot 22 and Part Lot 21

Year Built: c. 1922-1925

Architectural Style: Edwardian Classism

Original Owner: Separate School Board

Original Use: School

Condition: Good

Description of Cultural Heritage Resource

160 Courtland Avenue East is a two-storey 20th-century brick building. The building was originally constructed in the Edwardian Classism architectural style. The building is situated on a 1.71 acre parcel of land located on the north east corner of Courtland Avenue East and Cedar Street South in

the Mill Courtland Woodside Park neighborhood of the City of Kitchener within the Region of Waterloo. The principal resource that contributes to the heritage value is the school.

Heritage Value

160 Courtland Avenue East is recognized for its design/physical, historical/associative, and contextual values.

Design/Physical Value

The property municipally addressed as 160 Courtland Avenue East demonstrates design/physical value as an early institutional example of 20th-century Edwardian Classicism architectural style, with later additions added to the property. The original building constructed circa 1922-1925 faces Courtland Ave East. Sometime before the construction of the 1974 addition a recessed two storey addition was added on the east façade. Further east of the two-story addition is a 1974 addition that is lower in height and projects forward at both the rear and front façade of the original building and the previous addition. A small addition to the rear façade that projects from the original structure was added sometime after the 1974 addition. Additionally, at an unknown date the roofline of the original circa 1922-1925 building was altered with a half storey addition.

The circa 1922-1925 structure at 160 Courtland Avenue East demonstrates key characteristics of the Edwardian Classicism style including many windows, a more compact and simplified massing, straight rooflines and simple detailing, and some classical features such as voussoirs and keystones.

Front (South Elevation) Façade

The front façade faces Courtland Avenue East where a portion of the roofline, unknown and circa 1974 additions are visible. The circa 1922-1925 building features a symmetrical façade whose massing can be divided into three sections.

The central section features red brick, a cast concrete foundation and stone materials. The central section contains the primary entrance which is comprised of a classical frontispiece raised from the ground features brick and piers with a concrete base topped by an entablature. The entablature features a plain architrave and frieze, and a moulded cornice with dentils. The original building features a classical entryway with rounded transom and sidelights. Above the rounded transom in the entryway is a voussoir arch with a stone keystone. There are two flathead 1/1 basement windows below the entablature, and one flathead 1/1 window siting above each basement window on the first floor flanking the entrance. Both the basement and the first-floor windows feature stone sills and an enclosed transom. Above the entablature is a second-floor window pattern that feature a single flathead 1/1 window, a ribbon of three flathead 1/1 windows, and another single flathead 1/1 window all with an enclosed transom and a stone sill. There is a stone belt course located above the second-floor windows. Above the second-floor belt course, embedded into the roofline addition, a stone sign reads "St. Joesph's School."

The two sections of the original structure on either side of the central section are symmetrical and feature red brick, cast concrete foundation and stone materials. There are three flathead 1/1 basement windows with stone sills and an enclosed transom on either side of the central section. A first and second floor window pattern that features five flathead 1/1 windows with a continuous enclosed transom and a stone sill are above the basement windows. A stone belt course sits above the second-floor windows just below the roofline addition.

Side (East) Façade

This side façade faces east but the circa 1922-1925 building is not visible because the unknown and circa 1974 additions were built on the east façade.

Side (West) Façade

This side façade of the original building faces the west and features an almost symmetrical façade that can be divided vertically into three sections and possesses a flat roof.

The central section features red brick, a cast concrete foundation and stone materials. The central section contains the secondary entrance which is topped by an entablature. The entablature features a plain architrave and frieze, and a moulded cornice with dentils. Sitting above the entablature are two flathead 1/1 windows with an enclosed transom and stone sill. These windows have a base and top that sits higher than the first floor windows at the front and rear façade of the original structure. Above these windows are two flathead 1/1 windows with an enclosed transom and stone sills. The top of these windows aligns with the second floor windows at the rear and front façade of the building, but the base of these windows sit higher. There is a stone belt course above the second floor windows.

The two sections on either side of the centre feature red brick, cast concrete foundation and stone materials. There is evidence of two flathead 1/1 basement windows with an enclosed transom and a stone on either side of the central section. However, the basement window closest to the side entrance on the left of this façade has been enclosed to accommodate a ramp. The enclosed transom for this enclosed window is still visible.

Rear (North) (Façade)

The rear façade faces south where a portion of the rear, unknown and circa 1974 additions are visible. The circa 1922-1925 building features a flat almost symmetrical façade whose window arrangement creates 3 sections, and which possesses a flat roof.

The central bay features red brick with a cast concrete foundation, and stone materials. The rear addition is also visible on this façade. On the left side of the rear addition are two flathead 1/1 basement windows with stone sills and an enclosed transom. A single flathead 1/1 basement window with a stone sill and an enclosed transom is on the right side of the rear addition. Four flathead 1/1 windows with enclosed transom and a stone sill sit above the basement windows and addition on the first and second floor. A stone belt course sits above the second-floor windows.

The two sections on either side of the central section are symmetrical and feature red brick and a cast concrete foundation. These bays each feature a window pattern of two flathead 1/1 basement windows, and a ribbon of two flathead 1/1 basement windows, all with stone sills and an enclosed transom. A window pattern on both the first and second floor, above the basement windows, feature five flathead 1/1 windows with a continuous enclosed transom and stone sill. A stone belt course sits above the second-floor windows.

Additions (Unknown, c. 1974, Roofline & Rear)

A two-storey addition was built on the east façade of 160 Courtland Avenue East sometime before the construction of the second addition in 1974. The addition is constructed of red brick and features windows of a similar size but more modern style, featuring both stone sills and a belt course above the second floor, but no window heads as is prominent in the circa 1922-1925 building. It is recessed from the circa 1922-1925 building.

Further east, at both the front and rear of the circa 1922-1925 building, the 1974 addition projects forward. The addition is constructed of red brick and is lower in height than the original building and

the unknown addition. Neither addition detracts from the character of 160 Courtland Avenue East, or the character of the Courtland Avenue East streetscape as they are setback or significantly set forward from the original façade, and they do not try to emulate the original circa 1922-1925 building style but are compatible in design.

The roofline of the original circa 1922-1925 structure also appears to have been altered at an unknown date with a half-storey addition. This addition follows the footprint of the original roofline and has red vertical cladding. The stone sign reading “St. Joesph’s School” is embedded into this addition.

Additionally, at the rear façade of the original structure there appears to be a small 1-storey addition that projects slightly from the original structure. This addition was added sometime after the 1974 addition. This addition is off-centre and positioned slightly towards to the west façade in the central section. One flathead 1/1 basement window appears to have been covered to accommodate this addition.

Historical/Associative Value

The historical and associative value of 160 Courtland Avenue East relates to its direct association with public education and the catholic school system within Kitchener. The building was constructed circa 1922-1925 by a separate school board. As new settlers arrived in the area bringing with them Catholic and Lutheran beliefs, these communities identified a need for schools that would offer their children faith-based education and foster both their spiritual and academic growth. Catholic education in Waterloo Region began in 1836 with the creation of the schools St. Agatha in 1835-1836, and St. Boniface in 1836. Both schools, though they have undergone many renovations, still exist today. In 1874 the School Sisters of Notre Dame were brought to the Region after heeding a request from St. Jerome’s Collage founder Father Louis Funcken. The religious sisters shaped the growth and development of Catholic schools in the area and during their time teaching at St. Joesph’s provided invaluable lessons that helped form the values and belief of the students. St. Joesph’s school was in operation until June of 2004, after which it became the St. Louis Learning Centre. In 2014 the site was sold and purchased by the Muslim Association of Canada and renamed Maple Grove School.

160 Courtland Avenue East also has historical value due to its direct association with St. Joesph’s Church. To the east of the school is St. Joesph’s Church, municipally addressed as 148 Madison Avenue South. The land for the church was purchased from the School Board in 1930, for a total of \$3000. Prior to the construction of a basement chapel on the newly purchased property, mass was held in St. Joesph’s school. Before it closed in 2004, St. Joesph’s school was considered St. Joesph’s “parish school.” Many families whose children attended St. Joesph’s school were also members of the St. Joesph’s congregation.

Contextual Value

The contextual value of 160 Courtland Avenue East relates to its importance in maintaining the character of the Cedar Hill Cultural Heritage Landscape. The subject property and the surrounding area have been identified as being a Cultural Heritage Landscape (CHL) by the 2014 City of Kitchener Cultural Heritage Landscape Study. Key characteristics of this CHL include brick or the appearance of brick, topography of land, and a mingling of early and late housing with institutional buildings; a pattern of development that was not traditionally practiced in Ontario past 1920s in planned communities. The presence of 160 Courtland Avenue East as a school since its establishment contributes to the “completeness” of the Cedar Hill neighborhood.

The school is also physically, functionally, visually, and historically linked to its surroundings. The school is situated at its original location and continues its original function as a school. It maintains its historical connections to adjacent property, specifically St. Joseph's Church.

Social Value

Maple Grove School has social value as a place of education. This building has been providing this service since its construction circa 1922-1925, and its operations were central to the function of the surrounding community. It remains a prominent place of importance within the Cedar Hill neighborhood serving as one of the neighborhoods notable institutional buildings. Schools often provide social value for a community, acting as a source of socialization and learning for children. Additionally, when the school served as the original location of St. Joseph's congregation before the basement chapel was constructed, it served as a place where people gathered and socialized and created community connections that can still be seen today in St. Joseph's church and the surrounding community.

Heritage Attributes

The heritage value of 160 Courtland Avenue East resides in the following heritage attributes:

All elements related to the design/physical value of the original c. 1922-1925 brick school building as an example of the Edwardian Classism style including:

- The location, massing, and orientation of the building;
- Flat roof and roofline;
- Red brick construction;
- Cast concrete foundation;
- The classical main entryway with rounded transom and sidelights;
- A voussoir arch with a stone keystone;
- Piers and entablature that features a plain architrave and frieze;
- Moulded cornice with dentils;
- A stone sign that reads "St. Joseph's School";
- A stone course belt above the second floor windows;
- Fenestration pattern of the windows with stone sills and an enclosed transom on the front (south) façade, side (west) and rear (north) elevations:
 - o 5 window openings on each storey on each side of the front façade;
 - o The central window openings with two windows openings on each side on the central portion of the upper storey of the front facade;
 - o Windows openings on either side of the central door surround on the front façade;
 - o Rectangular window openings on the concrete foundation;
 - o 2/2 window openings on the side (west elevations);
 - o 5 window openings on either side of the each storey on the rear façade, with four openings on each storey in the central portion of the building.

All elements related to the contextual value of the property, including:

- Original location of the school; and
- Orientation of the school with the front elevation facing Courtland Avenue East.

References

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Cultural Heritage Landscapes Data Sheets. City of Kitchener. (2014, December). https://www.kitchener.ca/en/resourcesGeneral/Documents/DSD_PLAN_CHL_Study_Appendix_6_CHL_Data_Sheets.pdf

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History of St Joseph. St Joseph Kitchener. (2023, May 2). <https://stjosephkitchener.org/history>

Ontario Architectural Style Guide. Heritage Resources Centre. (2009, January). <https://www.therealtydeal.com/wp-content/uploads/2018/06/Heritage-Resource-Centre-Achitectural-Styles-Guide.pdf>

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Front Elevation (South)



Rear Elevation (North)



Side Elevation (East)



Side Elevation (East)



Front Elevation (South) – View of unknown and 1974 addition.

CULTURAL HERITAGE EVALUATION FORM

Address: 160 Courtland Avenue East Recorder: Kirsten Hoekstra

Description: School c. 1922-1925 Edwardian Classism Date: August 19, 2024
(date of construction, architectural style, etc)

Photographs Attached:

☒ Front Façade ☐ Left Façade ☒ Right Façade ☒ Rear Façade ☐ Details ☐ Setting

<i>Designation Criteria</i>	<i>Recorder – Planning Student</i>	<i>Heritage Planning Staff</i>
1. This property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement. <i>* E.g. - constructed with a unique material combination or use, incorporates challenging geometric designs etc.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>
4. The property has historical value or	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>

<p>associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.</p> <p><i>* Additional archival work may be required.</i></p>		
<p>5. The property has historical or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.</p> <p><i>* E.g - A commercial building may provide an understanding of how the economic development of the City occurred. Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>
<p>6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>
<p>7. The property has contextual value because it is important in defining, maintaining or</p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input checked="" type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>

supporting the character of an area. <i>* E.g. - It helps to define an entrance point to a neighbourhood or helps establish the (historic) rural character of an area.</i>		
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings. <i>* Additional archival work may be required.</i>	N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>
9. The property has contextual value because it is a landmark. <i>*within the region, city or neighborhood.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>

Notes

<i>Additional Criteria</i>	<i>Recorder</i>	<i>Heritage Kitchener Committee</i>
Interior: Is the interior arrangement, finish, craftsmanship and/or detail noteworthy?	N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>
Completeness: Does this structure have other original outbuildings, notable landscaping or external features that complete the site?	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>
Site Integrity: Does the structure occupy its original site? <i>* If relocated, is it relocated on its original site, moved from another site, etc.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>

<p>Alterations: Does this building retain most of its original materials and design features? Please refer to the list of heritage attributes within the Statement of Significance and indicate which elements are still existing and which ones have been removed.</p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>
<p>Alterations: Are there additional elements or features that should be added to the heritage attribute list?</p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>
<p>Condition: Is the building in good condition?</p> <p><i>*E.g. - Could be a good candidate for adaptive re-use if possible and contribute towards equity-building and climate change action.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>
<p>Indigenous History: Could this site be of importance to Indigenous heritage and history?</p> <p><i>*E.g. - Site within 300m of water sources, near distinct topographical land, or near cemeteries might have archaeological potential and indigenous heritage potential.</i></p> <p>Could there be any urban Indigenous history associated with the property?</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input checked="" type="checkbox"/> Additional Research Required</p> <p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input checked="" type="checkbox"/> Additional Research Required</p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required</p> <p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required</p>
<p>Function: What is the present function of the subject property?</p> <p><i>* Other may include vacant, social, institutional, etc. and important for the community from an equity building perspective.</i></p>	<p>Unknown <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Office <input type="checkbox"/> Other <input checked="" type="checkbox"/> - School</p>	<p>Unknown <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Office <input type="checkbox"/> Other <input type="checkbox"/> -</p>
<p>Diversity and Inclusion: Does the subject property contribute to the cultural heritage of a community of people?</p> <p>Does the subject property have intangible value to a specific community of people?</p> <p><i>* E.g.- Waterloo Masjid (Muslim Society of Waterloo & Wellington Counties) was the first established Islamic Center and Masjid in the Region and contributes to the history</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input checked="" type="checkbox"/> Additional Research Required</p> <p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input checked="" type="checkbox"/> Additional Research Required</p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required</p> <p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required</p>

of the Muslim community in the area.		
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Notes about Additional Criteria Examined

Recommendation

Does this property meet the definition of a significant built heritage resource, and should it be designated under Part IV of the Ontario Heritage Act? (Does it meet two or more of the designation criteria?)

N/A ☐ Unknown ☐ No ☐ Yes ☒

If not, please select the appropriate action for follow-up

- ☐ Keep on the Municipal Heritage Register
- ☐ Remove from the Municipal Heritage Register
- ☐ Additional Research Required

Other: _____

General / Additional Notes

TO BE FILLED BY HERITAGE PLANNING STAFF:

Date of Property Owner Notification: _____

REPORT TO: Heritage Kitchener

DATE OF MEETING: January 6, 2026

SUBMITTED BY: Garrett Stevenson, Director of Development and Housing Approvals, 519-783-8922

PREPARED BY: Deeksha Choudhry, Heritage Planner, 519-783-8906
Victoria Grohn, Heritage Planner, 519-783-8912
Michelle Drake, Senior Heritage Planner, 519-783-8909

DATE OF REPORT: December 8, 2025

REPORT NO.: DSD-2026-006

SUBJECT: Municipal Heritage Register Review – January 2026 Update

RECOMMENDATION:

The pursuant to Section 29 of the Ontario Heritage Act, the cultural heritage value or interest be recognized, and designation be pursued for the following properties:

- 156 Benton Street
- 42 Francis Street North
- 53-61 King Street East
- 4336 King Street East
- 8-24 King Street East
- 33 Ontario Street North
- 182 Victoria Street North

REPORT HIGHLIGHTS:

- The purpose of this report is to recommend pursuing designation under Part IV of the Ontario Heritage Act for seven (7) properties that are currently listed as non-designated properties of cultural heritage value or interest on the Municipal Heritage Register.
- The key finding of this report is that the properties possess design/physical, historical/associative, and contextual value and meet the criteria for designation under Ontario Regulation 9/06 (amended through Ontario Regulation 569/22).
- There are no financial implications.
- Community engagement included consultation with the Heritage Kitchener Committee.
- This report supports the delivery of core services.

BACKGROUND:

On January 1st, 2023, amendments to the Ontario Heritage Act (OHA) came into effect through Bill 23, the *More Homes Build Faster Act*. One of the primary changes introduced was the imposition of a new timeline which requires “listed” properties on the Municipal

Heritage Register to be evaluated to determine if they meet the criteria for heritage designation before January 1st, 2025. Bill 200, *the Homeowners Protection Act, 2024*, extended the time municipalities must designate properties listed on their municipal heritage registers until January 1, 2027. Listed properties are properties that have not been designated, but that the municipal Council believes to be of cultural heritage value or interest. The criteria for designation is established by the Provincial Government (Ontario Regulation 9/06, which has now been amended through Ontario Regulation 569/22) and a minimum of two must be met for a property to be eligible for designation.

A work plan to address these changes has been developed by Heritage Planning Staff with consultation from the Heritage Kitchener Committee on February 7th, 2023. Implementation of the work plan has now commenced. This report contains a summary of the findings for the properties recently reviewed, and recommendations for next steps.

Progress on Work Plan Implementation

As part of the work plan proposed in February 2023, Heritage Planning Staff committed to the review of 80 properties listed on the Municipal Heritage Register prior to January 1, 2025. As of the date of this report, a review has been completed for 108 listed properties. 7 properties are before the Committee as of the date of this report to be considered for designation. 56 properties have fully undergone the designation process. 32 properties are currently undergoing the review and designation process and are at various stages of completion. 2 properties are still being reviewed as of the date of this report. 12 properties have been reviewed and determined that no action should be taken at this time, and 1 NOID has been withdrawn by Council.

REPORT:

Ontario Regulation 569/22 (Amended from Ontario Regulation 9/06)

Among the changes that were implemented through Bill 23, the Ontario Regulation 9/06 – which is a regulation used to determine the cultural heritage value or interest of a property, was amended through Ontario Regulation 569/22 (O. Reg. 569/22). Where the original regulation had three main categories – design/physical, historical/associative and contextual - with three (3) sub-categories for determining cultural heritage value, the amended regulation now lists all nine (9) criteria independently.

The new regulation has been amended to the following:

1. The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement.
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.

5. The property has historical or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.
6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.
9. The property has contextual value because it is a landmark.

Also, among the changes brought about by Bill 23 are how properties can now be listed or designated under Part IV of the Ontario Heritage Act. They include:

- Properties would warrant being listed on the City's Municipal Heritage Register if they met **one or more criteria** of O. Reg 9/06 (amended through O. Reg. 569/22).
- Properties could be designated under Part IV of the Ontario Heritage Act if they meet **two or more criteria** of O. Reg 9/06 (amended through O. Reg. 569/22).

The following properties were evaluated to determine their cultural heritage value:

156 Benton Street

The subject property municipally addressed as 156 Benton meets four (4) of the nine (9) criteria of O. Reg. 9/06 (amended through O. Reg. 569/22):

- The property has design or physical value because it is a rare, unique, representative or early example of a style, type, expression, material, or construction method.
- The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.
- The property has contextual value because it is important in defining, maintaining, or supporting the character of an area.
- The property has contextual value because it is physically, functionally, visually, or historically linked to its surroundings.

42 Francis Street North

The subject property municipally addressed as 42 Francis Street North meets five (5) of the nine (9) criteria of O. Reg. 9/06 (amended through O. Reg. 569/22):

- The property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.
- The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.
- The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
- The property has contextual value because it is important in defining, maintaining or supporting the character of an area.

- The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.

53-61 King Street East

The subject property municipally addressed as 53-61 King Street East meets four (4) of the nine (9) criteria of O. Reg. 9/06 (amended through O. Reg. 569/22):

- The property has design or physical value because it is a rare, unique, representative or early example of a style, type, expression, material, or construction method.
- The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.
- The property has contextual value because it is important in defining, maintaining, or supporting the character of an area.
- The property has contextual value because it is physically, functionally, visually, or historically linked to its surroundings.

8-24 King Street East

The subject property municipally addressed as 8-24 King Street East meets (5) of the nine (9) criteria of O. Reg. 9/06 (amended through O. Reg. 569/22):

- The property has design or physical value because it is a rare, unique, representative or early example of a style, type, expression, material, or construction method.
- The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.
- The property has historical or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.
- The property has contextual value because it is important in defining, maintaining, or supporting the character of an area.
- The property has contextual value because it is physically, functionally, visually, or historically linked to its surroundings.

4336 King Street East

The subject property municipally addressed as 4336 King Street East meets two (2) of the nine (9) criteria of O. Reg. 9/06 (amended through O. Reg. 569/22):

- The property has design or physical value because it is a rare, unique, representative or early example of a style, type, expression, material, or construction method.
- The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.

33 Ontario Street North

The subject property municipally addressed as 33 Ontario Street North meets four (4) of the nine (9) criteria of O. Reg. 9/06 (amended through O. Reg. 569/22):

- The property has design or physical value because it is a rare, unique, representative or early example of a style, type, expression, material, or construction method.

- The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.
- The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.
- The property has contextual value because it is physically, functionally, visually, or historically linked to its surroundings.

182 Victoria Street North

The subject property municipally addressed as 182 Victoria Street North meets four (4) of the nine (9) criteria of O. Reg 9/06 (amended through O. Reg. 569/22):

- The property has design or physical value because it is a rare, unique, representative or early example of a style, type, expression, material, or construction method.
- The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.
- The property has historical or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.
- The property has historical or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer, or theorist who is significant to a community.

Heritage Kitchener Committee Options

Option 1 – Pursuing Designation for this property

Should Heritage Kitchener committee vote to start pursuing designation for these properties, staff will then contact the respective property owners to inform them and to start working with them towards designation. Staff will then bring a Notice of Intention to Designate back to the Committee to initiate the designation process. Should a property owner object to their property being designated, they can submit an appeal to the Ontario Land Tribunal (OLT) to rule on the decision. If the OLT determines that the property should not be designated but remain listed, it will be removed from the Municipal Heritage Register on January 1, 2027.

Option 2 – Deferring the Designation Process

Should Heritage Kitchener vote to defer the designation process for these properties, they will remain listed on the City's Municipal Heritage Register until January 1, 2027, after which they will have to be removed. The process of designating these properties can be started at any time until January 1, 2027.

Option 3 – Not Pursuing Designation for these properties

Should Heritage Kitchener vote not to pursue the designation of these properties, they will remain listed on the City's Municipal Heritage Register until January 1, 2027, after which

they will be removed. Once removed, these properties will not be able to be re-listed for the next five (5) years i.e. – January 1, 2032.

It should be noted that, per the endorsed work plan, staff are currently undertaking evaluations for high priority properties that are located in areas of the City that are experiencing significant redevelopment.

STRATEGIC PLAN ALIGNMENT:

This report supports the delivery of core services.

FINANCIAL IMPLICATIONS:

Capital Budget – The recommendation has no impact on the Capital Budget.

Operating Budget – The recommendation has no impact on the Operating Budget.

COMMUNITY ENGAGEMENT:

INFORM – This report has been posted to the City’s website with the agenda in advance of the council / committee meeting.

CONSULT AND COLLABORATE – The Municipal Heritage Committee (Heritage Kitchener) have been consulted at previous meetings regarding the proposed strategy to review the Municipal Heritage Register of Non-designated Properties and participated in the assessment of the properties subject to this report.

PREVIOUS REPORTS/AUTHORITIES:

- [Heritage Kitchener Committee Work Plan 2022-2024 – DSD-2023-053](#)
- [Bill 23 – Municipal Heritage Register Review – DSD-2023-225](#)
- [Kitchener Municipal Heritage Register Review – August Update 2023– DSD-2023-309](#)
- [Municipal Heritage Register Review – January 2024 Update – DSD-2024-022](#)
- [Municipal Heritage Register Review – March 2024 Update – DSD-2024-093](#)
- [Municipal Heritage Register Review – April 2024 Update – DSD-2024-131](#)
- [Municipal Heritage Register Review – May 2024 Update – DSD-2024-194](#)
- [Municipal Heritage Register Review – June 2024 Update – DSD-2024-250](#)
- [Municipal Heritage Register Review – August 2024 Update – DSD-2024-333](#)
- [Municipal Heritage Register Review – September 2024 Update – DSD-2024-361](#)
- [Municipal Heritage Register – October 2024 Update – DSD-2024-426](#)
- [Municipal Heritage Register- November 2024 Update – DSD-2024-444](#)
- [Municipal Heritage Register Review – March 2025 Update – DSD-2025-031](#)
- [Municipal Heritage Register Review – April 2025 Update – DSD-2025-108](#)
- [Municipal Heritage Register Review – August 2025 Update – DSD-2025-317](#)
- [Municipal Heritage Register Review – October 2025 Update – DSD-2025-357](#)
- [Municipal Heritage Register Review – December 2025 Update – DSD-2025-467](#)
- [Ontario Heritage Act, 2022](#)

REVIEWED BY: Sandro Bassanese, Manager of Site Plan

APPROVED BY: Justin Readman, General Manager, Development Services

ATTACHMENTS:

Attachment A – Statement of Significance – 156 Benton Street

Attachment B – Statement of Significance – 42 Francis Street North

Attachment C – Statement of Significance – 53-61 King Street East

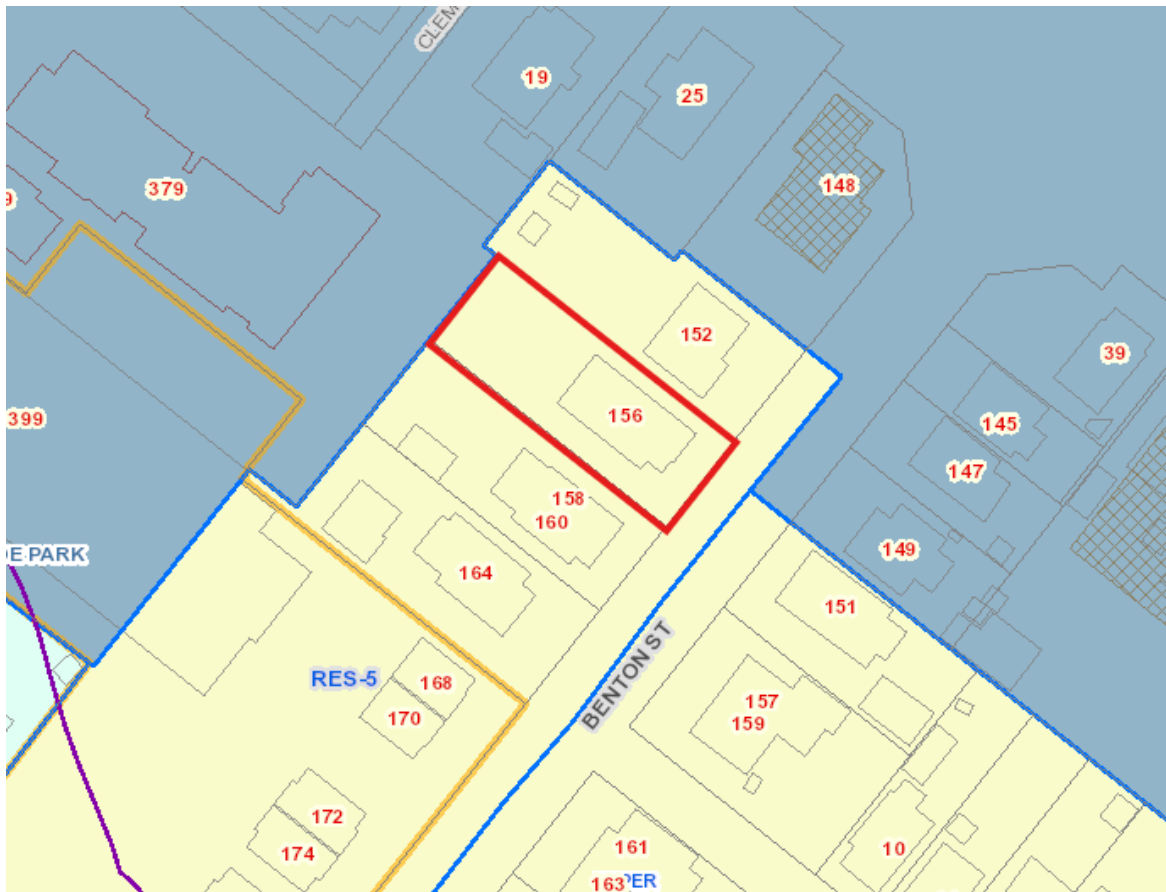
Attachment D – Statement of Significance – 4336 King Street East

Attachment E – Statement of Significance – 8-24 King Street East

Attachment F – Statement of Significance – 33 Ontario Street North

Attachment G – Statement of Significance – 182 Victoria Street North

Statement of Significance 156 BENTON STREET



Summary of Significance

☒ Design/Physical Value

☒ Historical/Associative Value

☒ Contextual Value

☐ Social Value

☐ Economic Value

☐ Environmental Value

Municipal Address: 156 Benton Street, Kitchener

Legal Description: Plan 397 Part Lot 6

Year Built: 1895

Architectural Style: Decorative Berlin Vernacular

Original Owner: Unknown

Original Use: Residential

Condition: Good

Description of Cultural Heritage Resource

156 Benton Street is a one storey early 20th century brick building built in the Decorative Berlin Vernacular architectural style. The building is situated on a 0.13 acre parcel of land located on

the west side of Benton Street between Courtland Avenue and Martin Street in the Cedar Hill Schneider Creek Neighbourhood Cultural Heritage Landscape of the City of Kitchener within the Region of Waterloo. The principal resource that contributes to the heritage value is the residential building.

Heritage Value

156 Benton Street West is recognized for its design/physical, historical/associative, and contextual values.

Design/Physical Value

The design/physical value relates to the building that is a representative example of the Decorative Berlin Vernacular architectural style that is in good condition with many intact heritage attributes. The building features: brick construction; front gable roofline with shingle gabled ends; decorative brickwork; verandah with brick piers, tapered square columns and shingle handrail; pediment above verandah leading to front door; 3/1 and 1/1 hung windows; front picture window with stained glass; and, wood work including brackets and sunburst. The building suffered significant damage due to neglect but was rehabilitated into a four-unit residential building while still maintaining the design elements that contribute to the Decorative Berlin Vernacular style. Work includes the replacement of windows and repainting of wood work on the facades. Internal work is described as including the uncovering and displaying the original internal brick walls throughout the house, preserving the stained-glass window, and preserving much of the ornamental wood work.

Historical/Associative Value

The associative and historic values relate to one significant property owner: Harry W. Brown. Harry W. Brown was a teacher who taught at Natchez School, Berlin Central School (now Suddaby Public School), the Model School and the Berlin Collegiate (later known as the Kitchener-Waterloo Collegiate and Technical School and now known as Kitchener Collegiate Institute). He also served as the secretary for both the Board and Advisory Committee for the Kitchener-Waterloo Collegiate and Technical School. He was a member of the Library Board, Kitchener-Waterloo Rotary Club, Kitchener Horticultural Society of which he spent time as the president, and the Waterloo Historical Society. Harry W. Brown lived in the building until his death in August, 1943. After his death, his wife continued to live in the building until 1962.

In addition, Captain Douglas Harley of the Highland Light Infantry spent a two-week furlough at 156 Benton Street with his wife and son in June 1943 before going back overseas. Harley was born in Ireland, came to Canada in 1930 and settled in Waterloo. He was among the first Kitchener-Waterloo men to join the Highland Light Infantry when they mobilized in Galt, and he spent time in England beginning in 1941. He was promoted overseas to the rank of acting major the following year.

Contextual Value

The contextual value relates to the buildings contribution to the character of the Benton Street streetscape. It's location, orientation and setback are similar to adjacent buildings helping to define the street edge and contribute to architectural rhythm on the street. The building is the same architectural style as the building municipally addressed 158-160 Benton Street. It is also a part of the resident-formed Schneider Creek community, which is located in the Cedar Hill Schneider Creek Neighbourhood Cultural Heritage Landscape, and is adjacent to the Victoria Park Area Heritage Conservation District.

Heritage Attributes

The heritage value of 156 Benton Street resides in the following heritage attributes:

- All elements related to the construction and Decorative Berlin Vernacular architectural style of the building, including:
 - brick construction;
 - front gable roofline with shingle gabled ends;
 - decorative brickwork;
 - verandah with brick piers, tapered square columns and shingle hand rail;
 - pediment above verandah leading to front door;
 - windows and window openings, including:
 - 3/1 and 1/1 hung windows; and,
 - front picture window with stained glass; and,
 - wood work including brackets and sunburst.

References

[Harley, Douglas T. | History in the Making | Kitchener Public Library](#)

RFB Development. (n.d.). 156 Benton Street. <https://www.rfbdevelopment.com/156-benton>

Photographs



Front Elevation (South East Façade)



Front Elevation (South East Façade)



Front and Side Elevation (South East and North East Façade)

CULTURAL HERITAGE EVALUATION FORM

Address: 156 Benton Street

Recorder: JM

Description: Decorative Berlin Vernacular

Date: December 4th, 2025

(date of construction, architectural style, etc)

Photographs Attached:

☒ Front Facade ☐ Left Façade ☒ Right Façade ☐ Rear Facade ☐ Details ☐ Setting

Designation Criteria	Recorder – Heritage Kitchener Committee	Heritage Planning Staff
1. This property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement. <i>* E.g. - constructed with a unique material combination or use, incorporates challenging geometric designs etc.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>

<p>significant to a community.</p> <p><i>* Additional archival work may be required.</i></p>		
<p>5. The property has historical or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.</p> <p><i>* E.g - A commercial building may provide an understanding of how the economic development of the City occurred. Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>
<p>6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>
<p>7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.</p> <p><i>* E.g. - It helps to define an entrance point to a neighbourhood or helps establish the (historic) rural character of an area.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input checked="" type="checkbox"/></p>
<p>8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input checked="" type="checkbox"/></p>

9. The property has contextual value because it is a landmark. <i>*within the region, city or neighborhood.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
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Additional Criteria	Recorder	Heritage Kitchener Committee
Interior: Is the interior arrangement, finish, craftsmanship and/or detail noteworthy?	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>
Completeness: Does this structure have other original outbuildings, notable landscaping or external features that complete the site?	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
Site Integrity: Does the structure occupy its original site? <i>* If relocated, is it relocated on its original site, moved from another site, etc.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
Alterations: Does this building retain most of its original materials and design features? Please refer to the list of heritage attributes within the Statement of Significance and indicate which elements are still existing and which ones have been removed.	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
Alterations: Are there additional elements or features that should be added to the heritage attribute list?	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
Condition: Is the building in good condition? <i>*E.g. - Could be a good</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>

<p><i>candidate for adaptive re-use if possible and contribute towards equity-building and climate change action.</i></p>		
<p>Indigenous History: Could this site be of importance to Indigenous heritage and history? <i>*E.g. - Site within 300m of water sources, near distinct topographical land, or near cemeteries might have archaeological potential and indigenous heritage potential.</i></p> <p>Could there be any urban Indigenous history associated with the property? <i>* Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required</p> <p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required</p>	<p>N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required</p> <p>N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required</p>
<p>Function: What is the present function of the subject property? <i>* Other may include vacant, social, institutional, etc. and important for the community from an equity building perspective.</i></p>	<p>Unknown <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Office <input type="checkbox"/> Other <input type="checkbox"/> _____</p>	<p>Unknown <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Office <input type="checkbox"/> Other <input type="checkbox"/> _____</p>
<p>Diversity and Inclusion: Does the subject property contribute to the cultural heritage of a community of people?</p> <p>Does the subject property have intangible value to a specific community of people? <i>* E.g.- Waterloo Masjid (Muslim Society of Waterloo & Wellington Counties) was the first established Islamic Center and Masjid in the Region and contributes to the history of the Muslim community in the area.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required</p> <p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required</p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required</p> <p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required</p>

Recommendation

Does this property meet the definition of a significant built heritage resource, and should it be designated under Part IV of the Ontario Heritage Act? (Does it meet two or more of the designation criteria?)

N/A ☐ Unknown ☐ No ☐ Yes ☐

If not, please select the appropriate action for follow-up

- ☐ Keep on the Municipal Heritage Register
- ☐ Remove from the Municipal Heritage Register
- ☐ Additional Research Required

Other:

General / Additional Notes

TO BE FILLED BY HERITAGE PLANNING STAFF

Statement of Significance 42 Francis Street North



Municipal Address: 42 Francis Street North

Legal Description: Plan 374 Part Lot 120 & 121

Year Built: 1901

Architectural Style: Queen Anne

Original Owner: Daniel Hibner

Original Use: Residential

Condition: Good

Description of Historic Place

42 Francis Street North is a two-storey early 20th century brick house built in the Queen Anne architectural style. The house is situated on a 0.17-acre parcel of land located on the corner of Francis Street North and Duke Street West adjacent to the Warehouse District Cultural Heritage Landscape in the City of Kitchener within the Region of Waterloo. The principal resource that contributes to the heritage value is the house.

Heritage Value

42 Francis Street North is recognized for its design/physical, historic/associative and contextual values.

Design/Physical Value

The design/physical value relates to the house as a representative example of the Queen Anne architectural style. The house is in good condition. The house is two storeys in height and features: cross gabled roofline; soffits, frieze and brackets; brick construction; flat headed window openings; large picture windows on front elevation with semi-circular and flat headed transoms and stone sills; 1/1 windows with brick voussoirs and stone sills; square stained glass window; flat headed door opening with wood door on main floor; and, rusticated stone foundation. The majority of windows were replaced sometime before 2020. Soffits, frieze and brackets, window openings and sills have been painted black. The second floor wooden storm door has been replaced by a single window pane. The wood shingles in the gable ends have been replaced with horizontal siding. Previously existing stained glass windows on the west side of the building and the semi-circular stained glass at the front of the building have been removed. A single square window with stained glass remains on the front elevation.

Historic/Associative Value

The historic/associative value relates to the original owner, Daniel Hibner. He founded a furniture factory in 1887 adjacent to the railway at what is now the corner of Duke Street West and Breithaupt Street (Noonan, 1975). The factory was called the D. Hibner Furniture Co. Ltd. and operated until circa 1935 (Noonan, 1975). He was also Mayor of the town in 1894 and long term park commissioner (Noonan, 1975). He was a member of the first Board of Park Commissioners and therefore instrumental in the creation of Victoria Park. Hibner Park at the intersection of Young Street, Ahrens Street and Maynard Avenue is named after him because he donated the funds to purchase a fountain for the park (Noonan, 1975). Hibner was also among the donation list for the inclusion of the Kaiser Wilhelm bust and Emperor Victoria statue at Victoria Park (Berliner Journal, 1896/97).

Contextual Value

The contextual value relates to the contribution that the house makes to the continuity and character of the Francis Street North streetscape. The contextual value also relates to the historic and visual link between the home of Daniel Hibner at 42 Francis Street North and the D. Hibner Furniture Co. Ltd. down the street at 283 Duke Street West.

Heritage Attributes

The heritage value of 42 Francis Street North resides in the following heritage attributes:

- All elements related to the house, including:
 - two-storey height of the house;
 - cross gabled roofline;
 - soffits, frieze and brackets;
 - brick construction;
 - flat headed window openings;
 - large picture windows on front elevation with flat headed transoms and stone sills;
 - 1/1 windows with brick voussoirs and stone sills;
 - square stained glass window on front elevation;
 - flat headed door opening with wood door on main floor; and,

- rusticated stone foundation.
- All elements related to the contextual value, including:
 - location, setback and orientation of the building on Francis Street North and Duke Street West;
 - Location of the house and contribution that it makes to the continuity and character of the Francis Street North streetscape; and,
 - The historic and visual link between the home of Daniel Hibner, the D. Hibner Furniture Co. Ltd. at 283 Duke Street West, and the Warehouse District Cultural Heritage Landscape.

References

Noonan, G. (1975). *A History of Kitchener*. Waterloo, Ontario: Wilfrid Laurier University Press.

Berliner Journal (September 10, 1896). Page 1, Column 6.

Berliner Journal (December 30, 1897). Page 8, Column 1.

Photos



Figure 1: 42 Francis Street North (Front Elevation)



Figure 2: 42 Francis Street North (Front and Side Elevation)



Figure 3: 42 Francis Street North (Side Elevation)



Figure 4: 42 Francis Street North (Front Elevation)



Figure 5: 42 Francis Street North, image showing cornice detail.



Figure 6: 42 Francis Street North, image showing original wooden door, and square stained glass window.

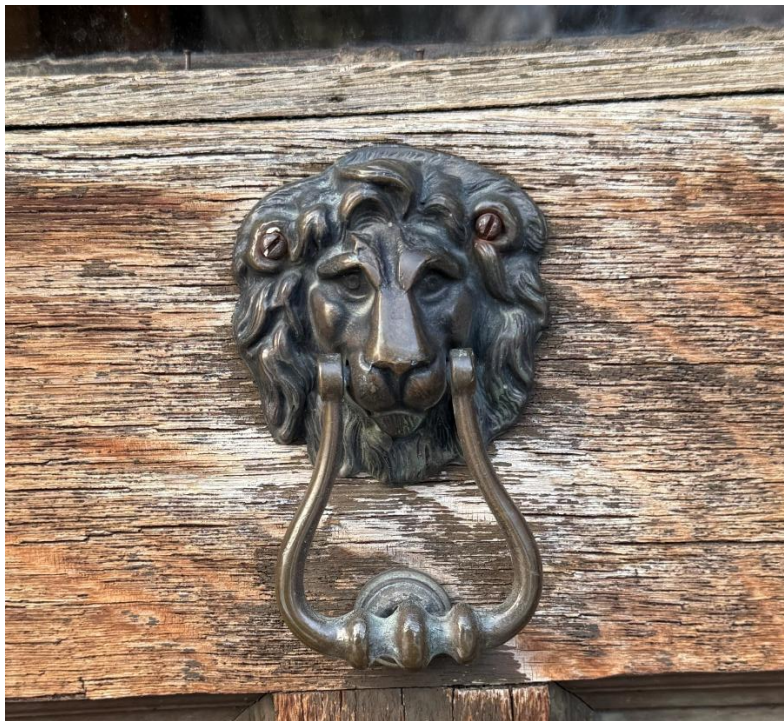


Figure 7: 42 Francis Street North, image showing original door knocker detail.



Figure 8: 42 Francis Street North, image showing square stained glass window detail.

CULTURAL HERITAGE EVALUATION FORM

Address: 42 Francis Street North

Recorder: Maitland Graham

Description: 1901, Queen Anne Revival
(date of construction, architectural style, etc)

Date: December 4, 2025

Photographs Attached:

☒ Front Facade ☒ Left Façade ☒ Right Façade ☒ Rear Facade ☒ Details ☐ Setting

Designation Criteria	Recorder – Heritage Kitchener Committee	Heritage Planning Staff
1. This property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement. <i>* E.g. - constructed with a unique material combination or use, incorporates challenging geometric designs etc.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>

<p>4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input checked="" type="checkbox"/></p>
<p>5. The property has historical or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.</p> <p><i>* E.g - A commercial building may provide an understanding of how the economic development of the City occurred. Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>
<p>6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input checked="" type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input checked="" type="checkbox"/></p>

<p>7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.</p> <p><i>* E.g. - It helps to define an entrance point to a neighbourhood or helps establish the (historic) rural character of an area.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>
<p>8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>
<p>9. The property has contextual value because it is a landmark.</p> <p><i>* within the region, city or neighborhood.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/></p>

Notes

red mortar with brownstone/beige brick and stone foundation; stone window sills; visual link from house to former D. Hibner Furniture Co. Ltd. at 283 Duke Street West

Additional Criteria	Recorder	Heritage Kitchener Committee
Interior: Is the interior arrangement, finish, craftsmanship and/or detail noteworthy?	<p>N/A <input checked="" type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>

Completeness: Does this structure have other original outbuildings, notable landscaping or external features that complete the site?	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
Site Integrity: Does the structure occupy its original site? <i>* If relocated, is it relocated on its original site, moved from another site, etc.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
Alterations: Does this building retain most of its original materials and design features? Please refer to the list of heritage attributes within the Statement of Significance and indicate which elements are still existing and which ones have been removed.	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
Alterations: Are there additional elements or features that should be added to the heritage attribute list?	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
Condition: Is the building in good condition? <i>*E.g. - Could be a good candidate for adaptive re-use if possible and contribute towards equity-building and climate change action.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
Indigenous History: Could this site be of importance to Indigenous heritage and history? <i>*E.g. - Site within 300m of water sources, near distinct topographical land, or near</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required	N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required

<p><i>cemeteries might have archaeological potential and indigenous heritage potential.</i></p> <p>Could there be any urban Indigenous history associated with the property?</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p> <p><input type="checkbox"/> Additional Research Required</p>	<p>N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p> <p><input type="checkbox"/> Additional Research Required</p>
<p>Function: What is the present function of the subject property?</p> <p><i>* Other may include vacant, social, institutional, etc. and important for the community from an equity building perspective.</i></p>	<p>Unknown <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Office <input type="checkbox"/> Other <input type="checkbox"/> - _____</p>	<p>Unknown <input type="checkbox"/> Residential <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Office <input type="checkbox"/> Other <input type="checkbox"/> - _____</p>
<p>Diversity and Inclusion: Does the subject property contribute to the cultural heritage of a community of people?</p> <p>Does the subject property have intangible value to a specific community of people?</p> <p><i>* E.g. - Waterloo Masjid (Muslim Society of Waterloo & Wellington Counties) was the first established Islamic Center and Masjid in the Region and contributes to the history of the Muslim community in the area.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p> <p><input type="checkbox"/> Additional Research Required</p> <p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p> <p><input type="checkbox"/> Additional Research Required</p>	<p>N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p> <p><input type="checkbox"/> Additional Research Required</p> <p>N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p> <p><input type="checkbox"/> Additional Research Required</p>

Pressure treated decks added on rear; missing front lower and upper porches; original fenestration replaced; soffits, frieze and brackets, window openings and sills have been painted black; second floor wooden storm door has been replaced by a window pane; previously existing stained glass windows on the west side of the building and the semi-circular stained glass at the front of the building have been removed; connection to D. Hibner, Hibner Furniture Co. and warehouse district; 1910 and 1918 Vernon's Directories confirm home of D. Hibner; 1901 Berliner Journal confirms D. Hibner built home on Francis Street North

Recommendation

Does this property meet the definition of a significant built heritage resource, and should it be designated under Part IV of the Ontario Heritage Act? (Does it meet two or more of the designation criteria?)

N/A ☐ Unknown ☐ No ☐ Yes ☒

If not, please select the appropriate action for follow-up

- ☐ Keep on the Municipal Heritage Register
- ☐ Remove from the Municipal Heritage Register
- ☐ Additional Research Required

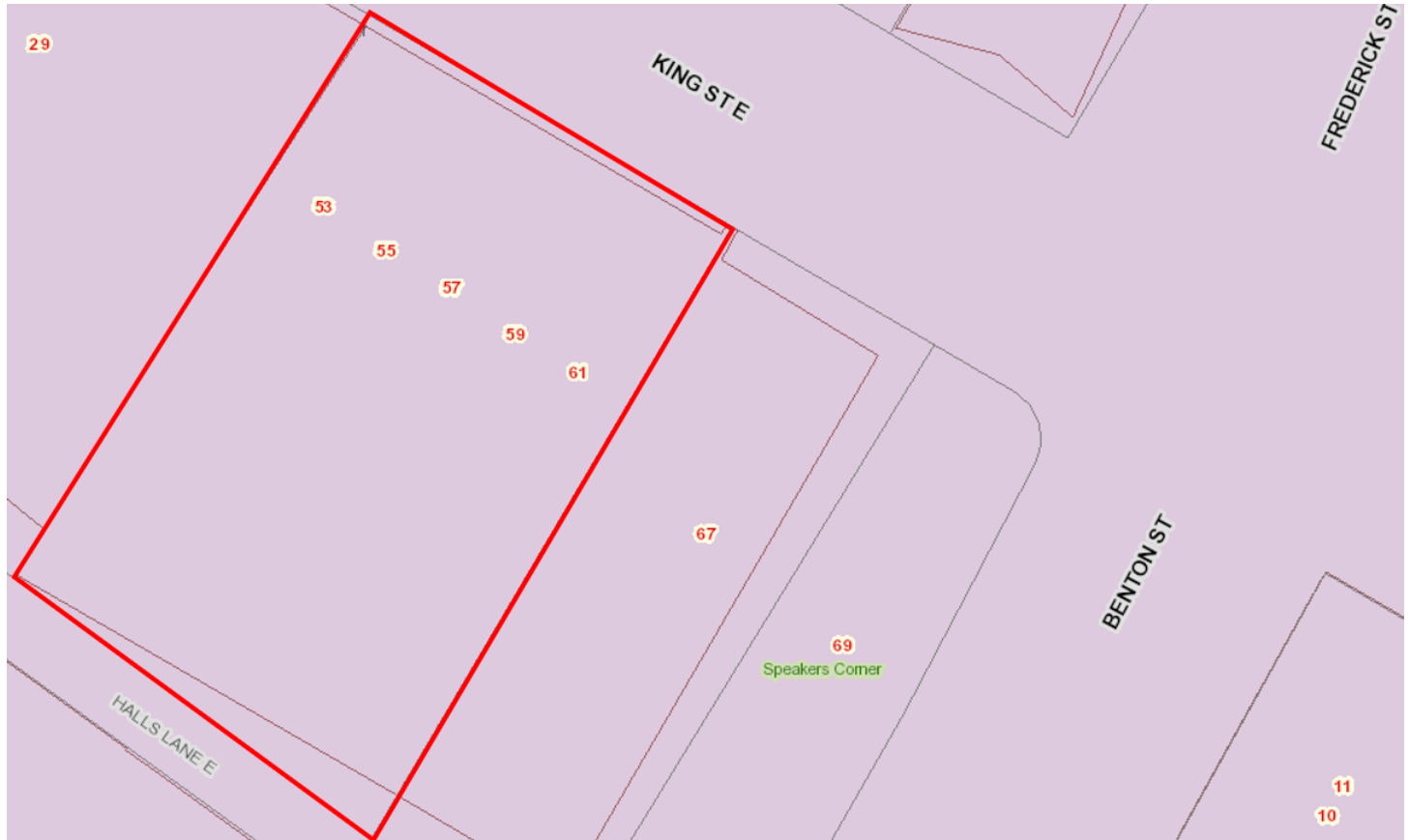
Other: _____

TO BE FILLED BY HERITAGE PLANNING STAFF:

Date of Property Owner Notification: _____

STATEMENT OF SIGNIFICANCE

53-61 King Street East



Summary of Significance

- ☒ Design/Physical Value
- ☒ Historical/Associative Value
- ☒ Contextual Value

- ☐ Social Value
- ☐ Economic Value
- ☐ Environmental Value

Municipal Address: 53-61 King Street East

Legal Description: Plan 364 Part Lots 1 & 3 Plan 394 Part Lots 1 & 32

Year Built: 1908 (S. H. Knox & Co., Demolished); circa 1941 (F.W. Woolworth Co.); and, 1966 (renovation of F. W. Woolworth Co.)

Architectural Style: Art Moderne

Original Owner: S.H. Knox & Co (1908)

Original Use: Commercial

Condition: Good

Description of Cultural Heritage Resource

53-61 King Street East is a 20th century commercial building with an Art Deco-inspired front façade. The building is situated on a 0.4 acre parcel of land located on the south side of King Street East

between Queen Street South and Benton Street in the Downtown Cultural Heritage Landscape in the City of Kitchener within the Region of Waterloo. The principal resource that contributes to the heritage value is the Art Deco-inspired front façade.

Heritage Value

53-61 King Street East is recognized for its design/physical, historical/associative, and contextual values.

Design/Physical Value

The property municipally addressed as 53-61 King Street East demonstrates design/physical value as a rare example of mid-20th century commercial building with an Art Deco-inspired front façade. The building is in good condition with many intact heritage attributes above the first storey.

The Art Deco inspired front façade was constructed circa 1941 on a two-storey commercial building, which was constructed with brick, steel tile, and concrete block. The building to the north, which was destroyed by fire in December 1959, was added to the building in 1966 to create a uniform Art Deco-inspired façade from 53-61 King Street East.

The building features: a rectangular plan; four bays across the front elevation; parapet roofline; cut-stone construction; large store front windows; two rectangular pillars with aluminum canopy; 2nd story casement windows with mullions in the form of a “T” (two narrow panes with a transom light above); intermittent string course at sill level; incised circles between the windows; panels above the windows with vertical fluting; and, incised horizontal banding across the top of the building.

Front Elevation (South Façade)

The front of the building faces King Street East, it is six bays wide and is built with cut stone. The original Art Deco-inspired front façade was three bays wide. This façade generally aligns with the front property line and the second-storey features: flat roof; parapet roofline with copper flashing; cut stone; one window opening in the first and third bay; a ribbon (three) of casement windows in the second bay; flat headed casement windows with mullions in the form of a “T” with stone sills; geometrical horizontal motifs incised in the stone above the windows in the first and third bay; circular motifs incised in the stone beside the windows in the first and third bay; vertical motifs above the ribbon of windows in the second bay; and, projecting steel canopy with rectangular sign box above. The fourth bay was constructed circa 1966 following a fire that destroyed the adjacent Zellers department store. The extension of this façade is three bays wide. This façade is setback approximately one metre from the front property line and the second-storey features: flat roof; parapet roofline with copper flashing; cut stone; a ribbon of three casement windows in the second bay; flat headed casement windows with mullions in the form of a “T” with stone sills; geometrical horizontal motifs incised in the stone above the circular motifs in the first and third bay; circular motifs incised in the stone beside the ribbon of windows; vertical motifs above the ribbon of windows in the second bay; and, projecting steel canopy with rectangular sign box above.

Historical/Associative Value

The property municipally addressed as 53-61 King Street East has historical/associative value because it has direct associations with the theme of economic development, early dollar (“five and

dime”) stores (S.H. Knox Co, & F.W. Woolworth Co.), various bargain stores, and Walter P. Zeller founder of Zeller’s Limited.

The property yields information that contributes to the understanding of economic development. The chain store concept was developed in the United States and one of its pioneers was Frank Winfield Woolworth. In 1878 he was working as a senior clerk where he helped introduce a five-cent counter. He saw the broader commercial potential of this concept and adapted it by displaying goods so that customers could make their own choices without the need for skilled clerks. This resulted in an important long-term cost advantage in a commercial retail business with very low profit margins.

F.W. Woolworth opened his first “five-cent store” in Utica, New York in 1879. He was able to expand his business with the help of various partners who joined together to form a group of “five and ten stores.” Merchandise was sold at half the cost of other competitors. By 1900, the stores were designed to provide a uniform appearance. These stores were incorporated as F.W. Woolworth & Co. in 1905 with other partners joining the merger in 1912. After the merger, F.W. Woolworth created a Canadian subsidiary known as F.W. Woolworth Co. Limited. The company was one of the largest retail chains in North America during the 20th century but declined in the 1980s with its eventual closure in 1997.

In Berlin (now Kitchener), F.W. Woolworth Co. operated in various locations in the King Street East block between Queen and Benton/Frederick between 1913 and 1994. The store at 53-61 King Street East closed in 1994 and reopened as The Bargain Shop (1994– 2015). The Bargain Shop was a chain launched by Woolworth’s circa 1992 when it assumed the leases of 38 Bargain Harold’s. At present, the building is occupied by Dollarama (circa 2016 - present).

Walter P. Zeller (b. 1890; d. 1957) was born on a farm in Waterloo County (now Waterloo Region) and moved to Berlin in his teenage years where he attended highschool. Walter tried various vocations and in early 1912 he started working in the stockroom at F.W. Woolworth Co. in Berlin. Later that year, he moved to the Chatham Woolworth’s store and rose rapidly in the company. By 1931, Walter had incorporated Zeller’s Limited by Letters Patent issued under the Company Act of Canada on July 13, 1931. In less than one year, Walter had purchased and opened 11 stores. Walter was eager to open a store in his hometown of Kitchener, which opened on September 30, 1932. Walter was among the first inductees into the Waterloo Country Hall of Fame for his contributions to the community, including: providing funds to develop Doon Pioneer Village; volunteering as a member with the Canadian Chamber of Commerce, the Kiwanis Club, the Canadian Osteopathic Aid Society, the Shawbridge Boys’ Farm and Training School, and the YMCA; and, he served as Executive Assistant to the Minister of National War Services and Chairman of the National War Savings Campaign.

Contextual Value

The property municipally addressed as 53-61 King Street East has contextual value because it defines, maintains and supports the commercial character of the surrounding area, as well as its physical, functional, visual, and historic link to its surroundings. The subject property is in the Downtown Cultural Heritage Landscape, which is at the city’s core and thus a focal point for development in the city and region. The area supports a range of uses, with banks, hotels, and other commercial businesses being the original anchors of the city’s core. The subject property’s location and proximity to adjacent commercial buildings and the orientation, massing, and setback of the building help to define and maintain the consistent street edge (e.g., similar building setbacks) on the south side of King Street

East. In addition, the orientation, massing, setback, design, and materials contribute to the continuity and character of the King Street East streetscape and the Downtown Cultural Heritage Landscape. The building is in its original location providing a physical, visual, and historic link to its surroundings (e.g., King Street East and the Downtown Cultural Heritage Landscape).

Heritage Attributes

The heritage value of 53-61 King Street East resides in the following heritage attributes:

- Location and orientation of the building facing King Street East;
- All elements related to the construction and Art Moderne architectural style of the building, including:
 - rectangular plan;
 - four bays across the front elevation;
 - parapet roofline;
 - cut-stone construction;
 - large store front windows;
 - two rectangular pillars with aluminum canopy;
 - 2nd story casement windows with mullions in the form of a “T” (two narrow panes with a transom light above);
 - intermittent string course at sill level;
 - incised circles between the windows;
 - panels above the windows with vertical fluting; and,
 - incised horizontal banding across the top of the building.
 - Front Elevation (South Façade)
 - original Art Deco-inspired front façade:
 - three bays wide;
 - façade aligns with the front property line;
 - second story features:
 - flat roof and parapet roofline with copper flashing;
 - cut stone;
 - one window opening in the first and third bay;
 - a ribbon (three) of casement windows in the second bay;
 - flat headed casement windows with mullions in the form of a “T” with stone sills;
 - geometrical horizontal motifs incised in the stone above the windows in the first and third bay;
 - circular motifs incised in the stone beside the windows in the first and third bay;
 - vertical motifs above the ribbon of windows in the second bay; and,
 - projecting steel canopy with rectangular sign box above.
 - Addition to Art-Deco inspired façade:
 - three bays wide;
 - façade is setback approximately one metre from the front property line;
 - the second-storey features:
 - flat roof;

- flat roof and parapet roofline with copper flashing;
 - cut stone;
 - a ribbon of three casement windows in the second bay;
 - flat headed casement windows with mullions in the form of a “T” with stone sills;
 - geometrical horizontal motifs incised in the stone above the circular motifs in the first and third bay;
 - circular motifs incised in the stone beside the ribbon of windows;
 - vertical motifs above the ribbon of windows in the second bay; and,
 - projecting steel canopy with rectangular sign box above.
- All elements related to the contextual value, including:
 - original location on King Street East in the city core;
 - location and proximity to adjacent commercial buildings and the Downtown Cultural Heritage Landscape;
 - orientation, massing, and setback of the building on King Street East;
 - design and materials of the King Street East façade; and,
 - physical, visual, and historic links to its surroundings.

References

Cunningham, C. (1981). Zeller family empire began in K-W. K-W Record: Kitchener, ON.

Koch, H. (1983). A store’s inglorious finale after 50 years. KW Record: Kitchener, ON.

KW Record. (1966). Woolworth’s Shows \$400,000 Renovation. KW Record: Kitchener, ON.

KW Record. (1957). W. P. Zeller, Native of County, Dies. KW Record: Kitchener, ON

Ronnenber, R. (1975). He’s in the Hall of Fame: Zeller a leading merchant. KW Record: Kitchener, ON.

Zeller’s Forum. (1972). Zeller’s 40th anniversary. 40(3): 1972.

Photographs



Front Elevation (North Façade) – 53-61 King Street East



Front Elevation (North Façade) – 53-61 King Street East



Front Elevation (North Façade) – 53-61 King Street East

CULTURAL HERITAGE EVALUATION FORM

Address: 53-61 King Street East Recorder: Michelle Drake
c. 1912 Art Moderne
 Description: _____ Date: October 22, 2024

(date of construction, architectural style, etc)

Photographs Attached:

☐ Front Facade ☐ Left Façade ☐ Right Façade ☐ Rear Facade ☐ Details ☐ Setting

Designation Criteria	Recorder – Heritage Kitchener Committee	Heritage Planning Staff
1. This property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement. <i>* E.g. - constructed with a unique material combination or use, incorporates challenging geometric designs etc.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community. <i>* Additional archival work may be required.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>

<p>5. The property has historical or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture. <i>* E.g - A commercial building may provide an understanding of how the economic development of the City occurred. Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/></p>
<p>6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community. <i>* Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>
<p>7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area. <i>* E.g. - It helps to define an entrance point to a neighbourhood or helps establish the (historic) rural character of an area.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>
<p>8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings. <i>* Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>
<p>9. The property has contextual value because it is a landmark. <i>* within the region, city or neighborhood.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/></p>

Notes

The building may have been designed by Garnet Andrew McElroy and built by Ryan Construction Company and the cut stone may be Queenston and Indiana limestone given similarity with Woolworth's building in Hamilton, Ontario (<http://dictionaryofarchitectsincanada.org/node/1723>).

Additional Criteria	Recorder – Heritage Kitchener Committee	Heritage Planning Staff
Interior: Is the interior arrangement, finish, craftsmanship and/or detail noteworthy?	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
Completeness: Does this structure have other original outbuildings, notable landscaping or external features that complete the site?	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
Site Integrity: Does the structure occupy its original site? <i>* If relocated, is it relocated on its original site, moved from another site, etc.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
Alterations: Does this building retain most of its original materials and design features? Please refer to the list of heritage attributes within the Statement of Significance and indicate which elements are still existing and which ones have been removed.	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
Alterations: Are there additional elements or features that should be added to the heritage attribute list?	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
Condition: Is the building in good condition? <i>*E.g. - Could be a good candidate for adaptive re-use if possible and contribute towards equity-building and climate change action.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
Indigenous History: Could this site be of importance to Indigenous heritage and history? <i>*E.g. - Site within 300m of water sources, near distinct topographical land, or near cemeteries might have archaeological potential and indigenous heritage potential.</i> Could there be any urban Indigenous history associated with the property? <i>* Additional archival work may be required.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required	N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required

	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required	N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required
Function: What is the present function of the subject property? <i>* Other may include vacant, social, institutional, etc. and important for the community from an equity building perspective.</i>	Unknown <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Office <input type="checkbox"/> Other <input type="checkbox"/> - _____	Unknown <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Office <input type="checkbox"/> Other <input type="checkbox"/>
Diversity and Inclusion: Does the subject property contribute to the cultural heritage of a community of people? Does the subject property have intangible value to a specific community of people? <i>* E.g.- Waterloo Masjid (Muslim Society of Waterloo & Wellington Counties) was the first established Islamic Center and Masjid in the Region and contributes to the history of the Muslim community in the area.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required

Notes about Additional Criteria Examined

Recommendation

Does this property meet the definition of a significant built heritage resource, and should it be designated under Part IV of the Ontario Heritage Act? (Does it meet two or more of the designation criteria?)

N/A ☒ Unknown ☐ No ☐ Yes ☒

If not, please select the appropriate action for follow-up

- ☐ Keep on the Municipal Heritage Register
- ☐ Remove from the Municipal Heritage Register
- ☐ Additional Research Required

Other: _____

General / Additional Notes

TO BE FILLED BY HERITAGE PLANNING STAFF:

Date of Property Owner Notification: _____

Statement of Significance 4336 King Street East



Summary of Significance

☒ Design/Physical Value

☒ Historical Value

☐ Contextual Value

☐ Social Value

☐ Economic Value

☐ Environmental Value

Municipal Address: 4336 King Street East

Legal Description: Beasley's Broken Front Part Lots 8 & 9, 58R-16058 Part 3

Year Built: c. 1889

Architectural Style: Georgian

Original Owner: Unknown

Original Use: School

Condition: Good

Description of Cultural Heritage Resource

4336 King Street East is a one storey late-19th century former school house built in the Georgian architectural style. The building is situated on a 1.40 acre parcel of land located on the corner of King Street East and Heldmann Road in the Pioneer Tower East Planning Community of the City of Kitchener within the Region of Waterloo. The principal resource that contributes to the heritage value is the former school house building.

Heritage Value

4336 King Street East is recognized for its design/physical, historic/associative, and contextual values.

Design/Physical Value

The design and physical value of the subject property relates to the architecture of the old schoolhouse. The design, composition, craftsmanship and details of the building result in a representative example of Georgian architectural style. The building is in good condition and is one of only four remaining one-room schoolhouses in the City of Kitchener. As such, it is considered a rare example of a one-room schoolhouse. The existing building is one-storey in height, is constructed of buff-brick in a common bond and Flemish bond, with a gable roof and a fieldstone foundation.

The building was rehabilitated in the early 2000's including the restoration of the original brick and repointing the stone foundation. A rear addition with a gable roof is attached to the former schoolhouse as well as a long one-storey commercial strip building attached to the east side of the former schoolhouse. The rear addition mimics some architectural details from the former schoolhouse such as its shape and form, as well as its use of buff brick and window openings. The buff brick is laid in common bond and a concrete foundation is clad in cut stone or replicated stone. A one-storey commercial building extending across the east property line is attached to the east side of the restaurant and is split into multiple units that provide a variety of restaurant and retail uses.

Front (North) Elevation

The front elevation of 4336 King Street east consists of a gable end of the north addition to the former Pine Grove Schoolhouse. West of the former schoolhouse, there is an attached flat roof commercial building that has been divided into multiple units.

The gabled roof addition to the former schoolhouse is three bays wide, and is designed similar to the original portion of the Pine Grove Schoolhouse. From the exterior, the addition appears to be two-storeys in height, but on the inside it is one-storey. The elevation foundation is concrete, clad in a stone veneer, and the walls consist of buff-brick laid in a running bond pattern with grey mortar. On either side of the door, there are two large rectangular windows with brick lintels. Above these door and window openings are three segmentally arched window openings with brick lintels and concrete sills. Each of these window openings has a modern window divided into 12 lites. Underneath the gable peak on this elevation there is a central round vent opening with a brick surround.

Rear (South) Elevation

The rear (south) elevation faces King Street East and is the rear elevation of the Former Pine Grove Schoolhouse. This elevation also includes the buff-brick construction and the fieldstone foundation. There are two rectangular windows on the foundation, consisting of 12 lites. This elevation is three bays wide, consisting of segmentally arched windows with brick lintels with concrete sills. Each window opening has a modern window divided into 12 lites. The gable peak has a circular window with brick surround. This elevation also has a projecting chimney.

East Elevation

The east elevation of the building is not visible as it has been covered by the attached commercial building.

West Elevation

The modern addition and the former schoolhouse are both visible on this elevation. The original portion of the schoolhouse contains three segmentally arched windows with brick voussoirs and concrete sills with a segmentally arched door. The window openings all have modern windows with 12 lites. The fieldstone foundation has two rectangular window openings. These window openings have modern windows with 9 lites with brick lintels. The addition has a gable roof with brick veneer, gable roof, and is one-storey in height.

Historical/Associative Value

The historic and associative value of the subject property relates to the former school, known as Pine Grove, which once served the localities of Limerick, Pine Bush, Freeport and Little Paradise. A log school house was first built in 1809 followed by a wood structure in 1855 and the current brick building c. 1889 (Hill, 2011). The log school is reported as the first school house in the County while the current brick building served as a school circa 1889 up until the mid-1950s.

Henry Heldmann purchased the schoolhouse in the 1950s and converted the building to a residence and factory for manufacturing plastic bandages. The building was occupied by the Heldmann family until the 1990s before becoming part of the Sportsworld Water Park. The history of the property and its importance to the community was celebrated by naming the road running past the school house in honour of the Heldmann family. The building was rehabilitated and adapted into a restaurant occupied by the Borealis Grille and Bar restaurant.

The property also has associative value as it relates to the theme of settlement in the Waterloo Region. This schoolhouse, and building, is one of the oldest buildings in the Region, and was constructed to service the communities of Limerick, Pine Bush, Freeport and Little Paradise. This building was used as a space for education for many years by these communities before becoming a residence. These communities were the early settlers in the Region, with the schoolhouse being built to meet the needs of these communities.

Heritage Attributes

- All elements related to the Georgian architectural style of the original portion of the building, including:
- The location, height, and massing of the original schoolhouse
 - one storey height;
 - front gable roof;
 - buff brick;
 - segmentally arched window openings with brick voussoirs;
 - flat headed basement window openings with brick voussoirs;
 - circular vent (former window) with brick voussoirs;
 - remnants from former school name plate; and,
 - fieldstone foundation.
 - Brick chimney
 - Former date/school name insert in gable peak.

References

Hill, V. (2011). Old Pine Grove schoolhouse is now a stylish restaurant. Retrieved on June 19, 2014 from <http://www.therecord.com/living-story/2578180-old-pine-grove-schoolhouse-is-now-a-stylish-restaurant/>

Oberholtzer, Reuben S., Waterloo Historical Society, V.67, p.85

WSP (2020), *Cultural Heritage Evaluation Report – 4336 King Street East, Kitchener*, prepared for the Region of Waterloo

Photographs



4336 King Street East: Front Facade



4336 King Street East: Rear Addition Facade



4336 King Street East: West Façade (Showing the seam between the original schoolhouse and the addition)

CULTURAL HERITAGE EVALUATION FORM

Address: 4336 King Street East
Choudhry

Recorder: JM (Jade McGowan), Deeksha

Description:
(date of construction, architectural style, etc)

Date: December 4, 2025

Photographs Attached:

☒ Front Facade ☒ Left Façade ☐ Right Façade ☒ Rear Facade ☐ Details ☐ Setting

Designation Criteria	Recorder – Heritage Kitchen Committee	Heritage Planning Staff
1. This property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement. <i>* E.g. - constructed with a unique material combination or use, incorporates challenging geometric designs etc.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>
4. The property has historical value or associative value because it has direct associations with a theme, event,	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>

<p>belief, person, activity, organization or institution that is significant to a community.</p> <p><i>* Additional archival work may be required.</i></p>		
<p>5. The property has historical or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.</p> <p><i>* E.g - A commercial building may provide an understanding of how the economic development of the City occurred. Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>
<p>6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>
<p>7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.</p> <p><i>* E.g. - It helps to define an entrance point to a neighbourhood or helps establish the (historic) rural character of an area.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>
<p>8. The property has contextual value because</p>		

<p>it is physically, functionally, visually or historically linked to its surroundings.</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>
<p>9. The property has contextual value because it is a landmark.</p> <p><i>* within the region, city or neighborhood.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>

Notes

Recommendation

Does this property meet the definition of a significant built heritage resource, and should it be designated under Part IV of the Ontario Heritage Act? (Does it meet two or more of the designation criteria?)

N/A ☐ Unknown ☐ No ☐ Yes ☒

If not, please select the appropriate action for follow-up

- ☐ Keep on the Municipal Heritage Register
- ☐ Remove from the Municipal Heritage Register
- ☐ Additional Research Required

Other:

TO BE FILLED BY HERITAGE PLANNING STAFF:

STATEMENT OF SIGNIFICANCE

8-24 KING STREET EAST



Summary of Significance

- | | |
|--|--|
| <input checked="" type="checkbox"/> Design/Physical Value | <input type="checkbox"/> Social Value |
| <input checked="" type="checkbox"/> Historical/Associative Value | <input checked="" type="checkbox"/> Economic Value |
| <input checked="" type="checkbox"/> Contextual Value | <input type="checkbox"/> Environmental Value |

Municipal Address: 8-30 King Street East
Legal Description: Plan 364 Pt Lots 13 & 14
Architectural Style: Italianate
Year Built: 1862/1863
Original Owner: Louis Breithaupt
Original Use: Hotel
Condition: Good

Description of Cultural Heritage Resource

8-24 King Street East is a 19th century commercial building built in the Italianate architectural style. The building is situated on a 0.46 acre parcel of land located on the north east corner of King Street East and Queen Street North in the City Commercial Core Planning Community of the City of Kitchener within the Region of Waterloo. The principal resource that contributes to the heritage value is the commercial building.

Heritage Value

8-24 King Street East is recognized for its design/physical, significant historical/associative and contextual values.

Design/Physical Value

The design and physical values relate to the Italianate architectural style that is in good condition with many intact original elements. The building features: yellow brick construction; individual facades, including some original main street storefronts; simple cornice with single wood brackets; and semi-circular window openings with brick voussoirs. The building has been painted white.

South (Front) Façade

The existing buildings are 3 storeys in height and includes different materials on this façade:

- 8-10 King Street is constructed of brick;
- 16 King Street East is also constructed of brick which has been painted white;
- 20 King Street East is most likely also constructed of brick which has been cladded over by stucco;
- 24 King Street east is clad in brick veneer.

26 and 30 King Street East were also historically part of this property, However, 26 King Street East is now of modern construction, and 30 King Street East is vacant due to a fire that occurred a number of years about.

The ground floor of these buildings contain commercial units and the upper storeys can be divided into 11 bays. Each bay contains semi-circular windows on each storey of different window styles:

- 8-10 King Street East mostly contains single hung windows with 2 windows on the upper floor that have 6 lites;
- 16 King Street East also has single hung windows with 2 lites in the lower portion of the window;
- 20 King Street East has single hung windows on each storey;
- 24 King Street East also has single hung windows on each storey.

At the top of this façade, there is a cornice with decorative brackets and decorative brick work that extends throughout the façade. The cornice and the brackets used to be red but have since been painted black.

West (Side) Façade

This façade extends is adjoined with 4 King Street East/1 Queen Street North, and is not visible.

East (side) Façade

This façade is adjoined with 26 King Street East, and is not visible.

North (Rear) Façade

The rear facades of these buildings has been altered over many years, with a major portion of this façade not visible due to 4 King Street/1 Queen Street North.

Although there have been several alterations to the building over the years, including the alterations that had to be made because of a fire, the building still maintains some of its original elements and is still representative of its Italianate architectural style and retains its heritage integrity.

Historical/Associative Value

This building has significant historical and associative value. The historical and associative values relate to the original owner and use of the property, as well as the contribution they made to the history of Berlin (now Kitchener). The original owner of the building was Louis Breithaupt while the original use of the building was a hotel – the American Hotel. The American Hotel was built by Louis Breithaupt in 1862-1863 for \$9,000.00. It is estimated that the building has served as a hotel for approximately 100 years. The building is one of the oldest commercial building in the City. Louis Breithaupt was a prominent business in Berlin as well as a former mayor, and his contributions to the development of Berlin form an integral chapter in Berlin's commercial and industrial development.

Louis Breithaupt

Louis Jacob Breithaupt was born in Buffalo, New York, on March 3, 1855. His parents were Louis and Catherine (Hailer) Breithaupt. Louis' father was a native of Hessen, Germany, who brought his family from the United States to Canada, which led to Louis being educated in Berlin and Toronto, after which he joined his family in business in Berlin, learning the trade of a tanner. He served many roles, from being a salesman, bookkeeper, and commercial traveler for the house, and upon the death of his father in 1880, he became a member and acting manager of the firm of Louis Breithaupt & Company. In 1890, with Louis Breithaupt now the President of the Company, the business was re-organized as a joint stock company, also becoming known as The Breithaupt Leather Company Ltd, have extensive tanneries at Berlin, Penetanguishene and Listowel, with the head office in Berlin. This company became one of the biggest leather companies to operate in Canada. This contributed greatly to the economic and industrial development of Berlin at the time, with Louis Breithaupt becoming one of the most prominent members of the society.

Along with his business, he has also served as the President for the Ontario Bank Company, President of the Berlin Gas, Electric Light & Power Company, a Director for the Economical Fire Insurance Co. of Berlin, and was also the President of the North Waterloo Agricultural Society. Additionally, he was the first Vice-President of The Berlin Rubber Company. He was also the President of the Berlin Board of Trade. For many years he was on the Waterloo County council as a member, serving was a Warden of the County in 1898. For seven years, he was also served as a member of the Berlin Town Council, and served as a mayor of the city in 1889.

Contextual Value

This building has contextual value as being built in the downtown commercial core of Berlin, before it became Kitchener, and is a part of a group of buildings that were built at

a time when industrial and commercial development in Berlin (now Kitchener) was happening. Today, these buildings are located in the downtown commercial core of Kitchener, and greatly contribute to the character of the area. The building is in its original location, and maintains historical and visual links to its surroundings. Furthermore, this building is the oldest commercial building in the City and located at a prominent intersection in the downtown city core, contributing to its contextual value.

Other Values

Economic Value

The existing building has economic value as being representative of a building with a history that contributes to the economic development that was taking place initially in Berlin, and then in Kitchener in the late 19th and early 20th century.

Heritage Attributes

The heritage value of 8-24 King Street East resides in the following heritage attributes:

- All elements related to the construction and Italianate architectural style of the building, excluding the ground floor. These elements include, including:
 - Location, massing, and orientation of the building;
 - Brick construction;
 - Roof and roofline;
 - Decorative brickwork around the single wood brackets on the front facade;
 - Simple cornice with single wood brackets; and,
 - Semi-circular window openings with brick voussoirs and sills on the front and facade;
- All contextual elements related to the building including:
 - Its original location on King Street East/Queen Street North streetscape and its contribution to the Kitchener downtown commercial area.



Front Façade of 8-24 King Street East.

CULTURAL HERITAGE EVALUATION FORM

Address: 8-24 King Street East

Recorder: Deeksha Choudhry

Description:

Date: December 4, 2025

(date of construction, architectural style, etc)

Photographs Attached:

☒ Front Facade ☒ Left Façade ☐ Right Façade ☒ Rear Facade ☐ Details ☐ Setting

Designation Criteria	Recorder – Heritage Kitchener Committee	Heritage Planning Staff
1. This property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement. <i>* E.g. - constructed with a unique material combination or use,</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>

<i>incorporates challenging geometric designs etc.</i>		
<p>4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>
<p>5. The property has historical or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.</p> <p><i>* E.g - A commercial building may provide an understanding of how the economic development of the City occurred. Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>
<p>6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>

<p>7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.</p> <p><i>* E.g. - It helps to define an entrance point to a neighbourhood or helps establish the (historic) rural character of an area.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>
<p>8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings.</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>
<p>9. The property has contextual value because it is a landmark.</p> <p><i>*within the region, city or neighborhood.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>

Notes

Recommendation

Does this property meet the definition of a significant built heritage resource, and should it be designated under Part IV of the Ontario Heritage Act? (Does it meet two or more of the designation criteria?)

N/A ☐ Unknown ☐ No ☐ Yes ☒

If not, please select the appropriate action for follow-up

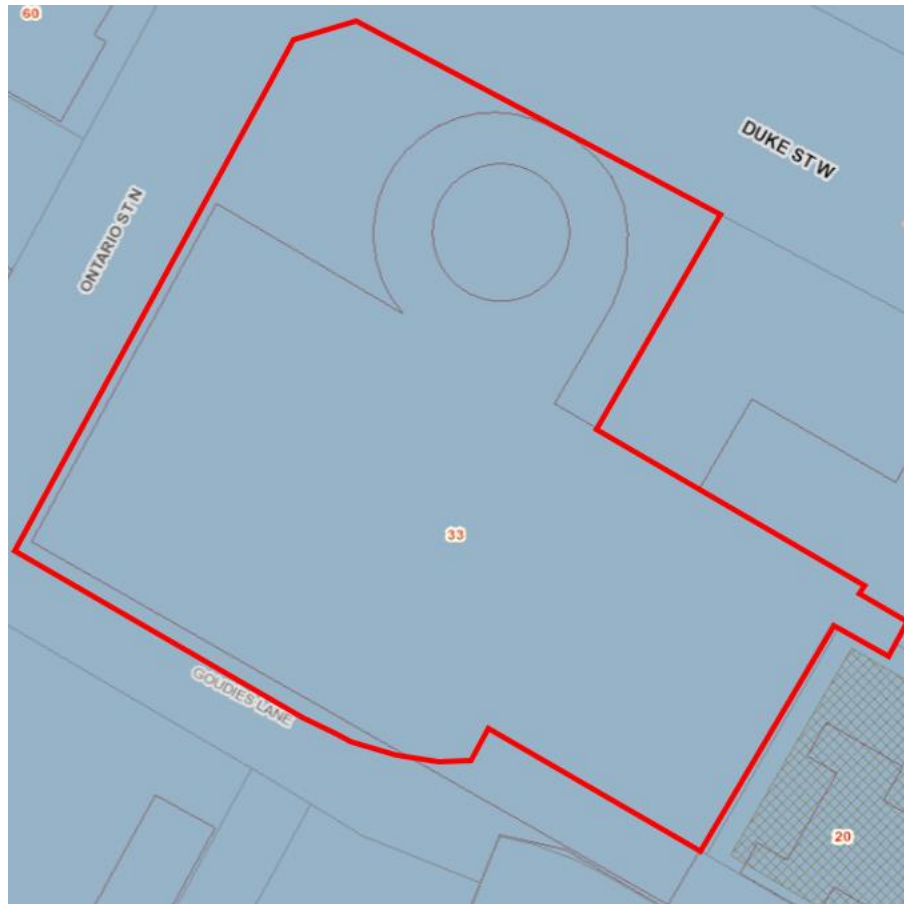
- ☐ Keep on the Municipal Heritage Register
- ☐ Remove from the Municipal Heritage Register
- ☐ Additional Research Required

Other:

TO BE FILLED BY HERITAGE PLANNING STAFF:

STATEMENT OF SIGNIFICANCE

33 Ontario Street North



Summary of Significance

☒ Design/Physical Value

☒ Historical/Associative Value

☒ Contextual Value

☐ Social Value

☒ Economic Value

☐ Environmental Value

Municipal Address: 33 Ontario Street North

Legal Description: Plan 401 Part Lot 2 & 7 Plan 396 Part Lot 8

Year Built: 1967

Architectural Style: Brutalist

Original Owner: City of Kitchener

Original Use: Commercial

Condition: Good

Description of Cultural Heritage Resource

33 Ontario Street North is a six (6) storey parking garage built in the Brutalist architectural style. The building is situated on a 0.74 acre parcel of land located on the east side of Ontario Street between

Goudies Lane and Duke Street in the Downtown Cultural Heritage Landscape of the City of Kitchener within the Region of Waterloo. The principal resource that contributes to the heritage value is the parking garage.

Heritage Value

33 Ontario Street North is recognized for its design/physical, historical/associative, and contextual values.

Design/Physical Value

The design/physical value relates to the Brutalist architectural style. The parking garage is a representative example of the Brutalist architectural style, characterized by a functional utilitarian design with an open air deck and exterior helix exit ramp. This design gained momentum in the 1950s and presented economic advantages since ventilation systems were not required, fire codes were relaxed, and facades to hide the parking were no longer required. The parking garage is in good condition and features: a rectangular plan and adjacent cantilevered exterior helix exit ramp; cast concrete façade on Duke Street West and Ontario Street North, including decorative details that emphasize horizontal and vertical lines; utilitarian, open air deck design; and, approximately 9 metres of the Goudies Lane cast concrete façade with vertical lines and the Electrohome mural. The mural is part of the Kitchener Downtown Mural Programme which operated between 1995 and 2002. The mural is a mixed media and plaster installation designed by the artist Cristina Peori, sponsored by Electrohome Ltd., and titled “Electrohome since 1907.” The mural was completed on October 20, 1995.

Historical/Associative Value

The historical/associative value relates to the direct association with the theme of urban renewal and association with the Kitchener Parking Authority, National Garages Inc. of Detroit and McCargar, Hachborn & Associates (today known as WalterFedy). The parking garage was the first project in Kitchener’s urban renewal plans of the late 1960s. The Kitchener Parking Authority championed the project by identifying the need for a large parking facility in Downtown Kitchener. A land use analysis report was provided by the Kitchener Urban Renewal Committee. The committee chose the site at Duke and Ontario because it was accessible to major parking generators such as theatres, department stores, churches and financial institutions. The director of planning, William Thompson, brought in National Garages Inc. of Detroit, a parking garage expert, to prepare the functional drawings. McCargar, Hachborn & Associates (R.D. McCargar) were brought in as engineers for the final design and specifications. On June 23, 1967, Council awarded the contract for construction of the 400-car concrete parking garage, including offices and storage, to Karley and Kroetsch for \$892,042. Council also had to purchase additional lands from George and Margaret Harre, Gouldie Building Limited and Kitchener News Record to facilitate the construction of the parking garage. The total cost of the land and construction was \$1,350,000. The construction and operation of the parking garage were managed by the Kitchener Parking Authority. The parking garage was officially opened on June 14, 1968.

Contextual

The contextual value relates to the parking garage’s physical, functional and visual links to adjacent properties and buildings. The parking garage is physically connected to the former Goudies Department Store (now THEMUSEUM) and continues to provide a functional link via a hallway between the the garage and THEMUSEUM. The parking garage is visually linked to the complex of buildings at 30-32 Duke Street East, which was built in the International architectural style with Brutalist and Expressionist influences. The parking garage and the adjacent complex both represent

mid-century modern architectural styles that broke from previous architectural precedents in their efforts to modernize as part of the urban renewal plans of the late 1960s. Their similar age, style and materials define the upper end of Ontario Street North.

Other Values – Economic

The parking garage was featured in a 2009 European Audi automobile television commercial and is listed on the Ontario Media Development Corporation's filming database.

Heritage Attributes

The heritage value of 33 Ontario Street North resides in the following heritage attributes:

- All elements related to the construction and Brutalist architectural style of the building, including:
 - rectangular plan and adjacent cantilevered exterior helix exit ramp;
 - cast concrete façade on Duke Street West and Ontario Street North, including decorative details that emphasize horizontal and vertical lines;
 - utilitarian, open air deck design; and,
 - approximately 9 metres of the Goudies Lane cast concrete façade with vertical lines and the Electrohome mural.

References

City of Kitchener. (1966). *Minutes of Council*. City of Kitchener: Kitchener, Ontario.

City of Kitchener. (1967). *Minutes of the Special Finance Committee*. City of Kitchener: Kitchener, Ontario.

City of Kitchener. (1967). *By-law 6222 – a by-law to authorize the construction of a parking garage and the raising of money for that purpose*. City of Kitchener: Kitchener, Ontario.

City of Kitchener. (1967). *Building Permit A777 for a Parking Garage*. City of Kitchener: Kitchener, Ontario.

LocalWiki Contributor: Jensenius, D. (2012). *Duke Street Parking Garage*. Accessed on December 8, 2025 from https://localwiki.org/kitchener/Duke_Street_Parking_Garage

Unknown. (1966). *Parking Garage Supported: Duke-Ontario Site Proposed*. Waterloo Region Record: Kitchener, Ontario. Accessed on December 8, 2025 from <https://www.newspapers.com/article/waterloo-region-record-1966-03-04-parkin/185285272/>

Unknown. (1967). *\$1,350,000 Garage Gets Council OK*. Waterloo Region Record: Kitchener, Ontario. Accessed on December 8, 2025 from <https://www.newspapers.com/article/waterloo-region-record-1967-06-23-1350/185334778/>

WalterFedy. (2025). *About*. Accessed on December 8, 2025 from <https://www.walterfedy.com/about/>

Photographs



Front (Duke Street West) Elevation (East Façade) – 33 Ontario Street South (Google, May 2025)



Front (Duke Street West) Elevation (East Façade) – 33 Ontario Street South (Google, May 2025)



Side (Ontario Street South) Elevation (North Façade) – 33 Ontario Street South (Google, May 2025)



Rear (Halls Lane) Elevation (South Façade) – 33 Ontario Street South (Google, May 2025)

CULTURAL HERITAGE EVALUATION FORM

Address: 33 Ontario Street North Recorder: Michelle Drake

Description: 1967, Brutalist architectural style Date: November 21, 2025

(date of construction, architectural style, etc)

Photographs Attached:

☐ Front Facade ☐ Left Façade ☐ Right Façade ☐ Rear Facade ☐ Details ☐ Setting

Designation Criteria	Recorder – Heritage Kitchener Committee	Heritage Planning Staff
1. This property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement. <i>* E.g. - constructed with a unique material combination or use, incorporates challenging geometric designs etc.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>

<p>4. The property has historical value or associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>
<p>5. The property has historical or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.</p> <p><i>* E.g - A commercial building may provide an understanding of how the economic development of the City occurred. Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/></p>
<p>6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>
<p>7. The property has contextual value because it is important in defining, maintaining or</p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/></p>

supporting the character of an area. <i>* E.g. - It helps to define an entrance point to a neighbourhood or helps establish the (historic) rural character of an area.</i>		
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings. <i>* Additional archival work may be required.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
9. The property has contextual value because it is a landmark. <i>*within the region, city or neighborhood.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>

Notes

Additional Criteria	Recorder	Heritage Kitchener Committee
Interior: Is the interior arrangement, finish, craftsmanship and/or detail noteworthy?	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
Completeness: Does this structure have other original outbuildings, notable landscaping or external features that complete the site?	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> electrohome mural; park at duke & ontario
Site Integrity: Does the structure occupy its original site? <i>* If relocated, is it relocated on its original site, moved from another site, etc.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>

<p>Alterations: Does this building retain most of its original materials and design features? Please refer to the list of heritage attributes within the Statement of Significance and indicate which elements are still existing and which ones have been removed.</p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>
<p>Alterations: Are there additional elements or features that should be added to the heritage attribute list?</p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> mural</p>
<p>Condition: Is the building in good condition?</p> <p><i>*E.g. - Could be a good candidate for adaptive re-use if possible and contribute towards equity-building and climate change action.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/></p>
<p>Indigenous History: Could this site be of importance to Indigenous heritage and history?</p> <p><i>*E.g. - Site within 300m of water sources, near distinct topographical land, or near cemeteries might have archaeological potential and indigenous heritage potential.</i></p> <p>Could there be any urban Indigenous history associated with the property?</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required</p> <p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required</p>	<p>N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required</p> <p>N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required</p>
<p>Function: What is the present function of the subject property?</p>	<p>Unknown <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Office <input type="checkbox"/> Other <input type="checkbox"/> -</p>	<p>Unknown <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Office <input type="checkbox"/> Other <input type="checkbox"/></p>

<p><i>* Other may include vacant, social, institutional, etc. and important for the community from an equity building perspective.</i></p>		
<p>Diversity and Inclusion: Does the subject property contribute to the cultural heritage of a community of people?</p> <p>Does the subject property have intangible value to a specific community of people?</p> <p><i>* E.g.- Waterloo Masjid (Muslim Society of Waterloo & Wellington Counties) was the first established Islamic Center and Masjid in the Region and contributes to the history of the Muslim community in the area.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p> <p><input type="checkbox"/> Additional Research Required</p> <p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/></p> <p><input type="checkbox"/> Additional Research Required</p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Yes <input type="checkbox"/></p> <p><input type="checkbox"/> Additional Research Required</p> <p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Yes <input type="checkbox"/></p> <p><input type="checkbox"/> Additional Research Required</p>

Notes about Additional Criteria Examined

Recommendation

Does this property meet the definition of a significant built heritage resource, and should it be designated under Part IV of the Ontario Heritage Act? (Does it meet two or more of the designation criteria?)

N/A ☐ Unknown ☐ No ☐ Yes ☒

If not, please select the appropriate action for follow-up

- ☐ Keep on the Municipal Heritage Register
- ☐ Remove from the Municipal Heritage Register
- ☐ Additional Research Required

Other: _____

General / Additional Notes

TO BE FILLED BY HERITAGE PLANNING STAFF:

Date of Property Owner Notification: _____

STATEMENT OF SIGNIFICANCE

182 Victoria Street North



Summary of Significance

☒ Design/Physical Value

☒ Historical/Associative Value

☐ Contextual Value

☒ Social Value

☐ Economic Value

☐ Environmental Value

Municipal Address: 182 Victoria Street North

Legal Description: Plan 374 Pt Lots 23 & 24

Year Built: 1946

Architectural Style: Neo Gothic

Original Owner: New Apostolic Church

Original Use: Religious

Condition: Good

Description of Cultural Heritage Resource

182 Victoria Street North is a mid 20th Century building built in the Neo Gothic architectural style. The building is situated on a 0.26 acre parcel of land located on the west side of Victoria Street North between Ahrens Street West and Margaret Avenue in the Warehouse District Cultural Heritage Landscape in the City of Kitchener within the Region of Waterloo. The principal resource that contributes to the heritage value is the religious building.

Heritage Value

182 Victoria Street North is recognized for its design/physical, historical/associative, and social values.

Design/Physical Value

The design and physical values relate to the Neo Gothic architectural style that is in good condition with many intact original elements. This style was generally built between 1900 and 1945 with a monochromatic design featuring wall buttresses and finials for aesthetic rather than structural purposes. The religious building features: rectangular plan; red brick construction; stepped gable roofline that holds a cross; concrete details such as door and window surrounds, medallions, and, sunburst above front entrance; gothic arch windows, including stained glass windows; windows with brick voussoirs; and, lights that flank the front entrance.

Front (East) Façade

The front of the building faces Victoria Street North and is comprised of a single bay that features red brick in a running bond; a stepped gable roofline that holds a concrete cross; concrete details, including stairs with railing, door and window surrounds, medallions, and sunburst; gothic arch leaded and stained glass window with concrete surround and brick voussoirs; double entrance doors flanked by decorative lights; and, poles with decorative lights on the stairs.

Side (North) Façade

The north side of the building is comprised of five bays of red brick and separated by buttresses. The first bay features a ribbon of three square windows with a single brick voussoir and a single concrete sill on the main level of the building separated from the basement by a concrete band with two square basement windows. The second and third bays feature a ribbon of three rectangular windows with a single brick voussoir and a single concrete sill on the main level of the building separated from the basement by a concrete band with three square basement windows. The fourth bay features a cross gable roofline that cuts into the front gable roofline of the main building to display a gothic arch window with tracery, brick voussoir with concrete label caps, and a concrete sill on the main level of the building; and, a ribbon of three (altered to two) square basement windows with a single brick voussoir. The fifth bay features a ribbon of three rectangular windows with a single brick voussoir and a single concrete sill on the main level of the building.

Side (South) Façade

The south side of the building is comprised of five bays of red brick and separated by buttresses. The first bay features a square window with a brick voussoir and a concrete sill on the main level of the building separated from the basement by a concrete band with a square basement window and a single gothic arch door with a brick voussoir and concrete label stops. The second and third bays feature a ribbon of three rectangular windows with a single brick voussoir and a single concrete sill on the main level of the building separated from the basement by a concrete band with three square basement windows. The fourth bay features a cross gable roofline that cuts into the front gable roofline of the main building to display a gothic arch window with tracery, brick voussoir with concrete label caps, and a concrete sill on the main level of the building; and, a ribbon of three square basement windows with a single brick voussoir. The fifth bay projects to the side of the building by about 1.5 metres (7 feet) with the east face of the bay featuring stairs with an entrance door and the south face of the bay featuring a ribbon of three rectangular windows with a single brick voussoir and a single concrete sill on the main level of the building.

Historical/Associative Value

The historical value relates to the original ownership and use of the building, by the New Apostolic Church. The New Apostolic Church started in England around 1832. Early services of the New Apostolic Church were held in Waterloo in 1925 by the parent church in the United States, and by 1930 services were also being held at 20 Ellen Street in Kitchener. As the congregation grew rapidly,

the church purchased a house at 182 Victoria Street North in 1934 and used it as their church for several years. By 1958, a sufficient number of congregations had been formed to organize a separate Canadian district church, and ordained Michael Kraus as District Apostle of the church in Zurich on June 21, 1958. Having outgrown the house, it was demolished in 1946 to allow for the current religious building. The congregation continued to grow and moved in 1974 to 160 Margaret Avenue.

The associative values relate to Michael Kraus, Verses restaurant, and the Chin Christian Church.

Michael Kraus was a reverend of the New Apostolic Church, builder, and a prominent businessman in the Kitchener-Waterloo community. He was born in Romania on March 26, 1908 and arrived in Kitchener at the age of 18. At age 22, he married Hilda Loscher and two years later the couple became members of the small New Apostolic congregation on Ellen Street. He was ordained into the ministry the following year in 1933. In the 1930s, he worked as a labourer in the Baetz furniture factory, and built apartments during after hours. He built the religious building at 182 Victoria Street North in 1946. He began importing upholstery fabric at age 33, and eventually started his own carpet company, Kraus Carpet Mills (1959) and Strudex Fibres (1971). He was ordained as an Apostle in 1955, and ordained as a District Apostle and national leader of the New Apostolic Church of Canada in 1958. He traveled extensively and sent fellow missionaries all the over the world, and helped establish the New Apostolic Church in over 70 countries. The church membership had grown to 4 million by his retirement in 1994. He died in Kitchener on November 16, 2003.

Brett Shantz and Debbie McFadden purchased the building and converted it to the restaurant Verses, specializing in metropolitan dining, in 2003. The Verses website indicated that *“the owners felt it necessary to keep the integrity of the building intact. What your eyes feast on when you first walk in is the original stained glass windows, ceiling motifs and church lights. The pews were made into the striking harvest tables now in the centre of the main dining room. These same pews have been used elsewhere as a design element in the VERSES facility. They house the unique glass sinks by Renato Foti in the powder rooms and they are now panel walls in the “Chef’s Table” dining area. The original hardwood floors were stained and refinished on the main level, as were the beautiful terrazzo floors on the lower level.”* Verses was ranked a four-diamond restaurant by CAA – the only one in Waterloo Region at that level – in 2013 and closed in 2014 when the property was sold to the Chin Christian Church.

The Chin Christian Fellowship was established in 2004 to help Chin people living in the Kitchener-Waterloo area. Services were held at the First Hmong Mennonite Church. The Chin Christian Fellowship of Canada was founded in 2006 by delegates from all Chin churches in Canada. The name was changed to Chin Christian Church in 2008. The church has grown to 200 plus members and two pastors. The religious building at 182 Victoria Street North was purchased in 2014 and continues to operate as the Chin Christian Church.

Other Values - Social Value

The New Apostolic Church has social value as a place of worship that has been in Kitchener for over 95 years. The religious building at 182 Victoria Street North supported these services between 1946 to 1974 (28 years) and during that period was a place of importance for this religious community.

The Chin Christian Church has social value as a place of worship that has been in Kitchener for 21 years. The religious building at 182 Victoria Street North has supported these services since 2014 and has become a place of importance to this religious community.

Places of worship often provide intangible community value as a place where people gather and are often a central piece of a community.

Heritage Attributes

The heritage value of 182 Victoria Street North resides in the following heritage attributes:

- All elements related to the construction and Neo Gothic architectural style of the building, including:
 - rectangular plan;
 - red brick construction;
 - stepped gable roofline that holds a cross;
 - concrete details such as door and window surrounds, medallions, and, sunburst above front entrance;
 - gothic arch windows, including stained glass windows;
 - windows with brick voussoirs; and,
 - lights that flank the front entrance.
 - Front (East) Façade
 - single bay with red brick in a running bond;
 - stepped gable roofline that holds a concrete cross;
 - concrete details, including stairs with railing, door and window surrounds, medallions, and sunburst;
 - gothic arch leaded and stained glass window with concrete surround and brick voussoir;
 - double entrance doors flanked by decorative lights; and,
 - poles with decorative lights on the stairs.
 - Side (North) Façade
 - five bays of red brick separated by buttresses;
 - the first bay features a ribbon of three square windows with a single brick voussoir and a single concrete sill on the main level of the building separated from the basement by a concrete band with two square basement windows;
 - the second and third bays feature a ribbon of three rectangular windows with a single brick voussoir and a single concrete sill on the main level of the building separated from the basement by a concrete band with three square basement windows;
 - the fourth bay features a cross gable roofline that cuts into the front gable roofline of the main building to display a gothic arch window with tracery, brick voussoir with concrete label caps, and a concrete sill on the main level of the building; and, a ribbon of three (altered to two) square basement windows with a single brick voussoir; and,
 - the fifth bay features a ribbon of three rectangular windows with a single brick voussoir and a single concrete sill on the main level of the building.
 - Side (South) Façade
 - five bays of red brick separated by buttresses;

- the first bay features a square window with a brick voussoir and a concrete sill on the main level of the building separated from the basement by a concrete band with a square basement window and a single gothic arch door with a brick voussoir and concrete label stops;
- the second and third bays feature a ribbon of three rectangular windows with a single brick voussoir and a single concrete sill on the main level of the building separated from the basement by a concrete band with three square basement windows;
- the fourth bay features a cross gable roofline that cuts into the front gable roofline of the main building to display a gothic arch window with tracery, brick voussoir with concrete label caps, and a concrete sill on the main level of the building; and, a ribbon of three square basement windows with a single brick voussoir;
- the fifth bay projects to the side of the building by about 1.5 metres (7 feet) with the east face of the bay featuring stairs with an entrance door and the south face of the bay featuring a ribbon of three rectangular windows with a single brick voussoir and a single concrete sill on the main level of the building.

References

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- Chin Christian Church. (2025). *Chin Christian Church: About CCC*. Accessed on 2025 November 26 from <https://www.kwchinchristianchurch.com/about/>
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Photographs



Front (Victoria Street North) Elevation (East Façade) (Google, May 2025)



Side Elevation (North Façade) (Google, May 2025)



Side Elevation (South Façade) (Google, May 2025)

CULTURAL HERITAGE EVALUATION FORM

Address: 182 Victoria Street North Recorder: Michelle Drake

Description: New Apostolic Church, 1946, Neo Gothic Date: November 17, 2025

(date of construction, architectural style, etc)

Photographs Attached:

☐ Front Facade ☐ Left Façade ☐ Right Façade ☐ Rear Facade ☐ Details ☐ Setting

Designation Criteria	Recorder – Heritage Kitchener Committee	Heritage Planning Staff
1. This property has design value or physical value because it is a rare, unique, representative or early example of a style, type, expression, material or construction method.	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
2. The property has design value or physical value because it displays a high degree of craftsmanship or artistic merit.	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
3. The property has design value or physical value because it demonstrates a high degree of technical or scientific achievement. <i>* E.g. - constructed with a unique material combination or use, incorporates challenging geometric designs etc.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
4. The property has historical value or		

<p>associative value because it has direct associations with a theme, event, belief, person, activity, organization or institution that is significant to a community.</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input checked="" type="checkbox"/></p>
<p>5. The property has historical or associative value because it yields, or has the potential to yield, information that contributes to an understanding of a community or culture.</p> <p><i>* E.g - A commercial building may provide an understanding of how the economic development of the City occurred. Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input checked="" type="checkbox"/></p>
<p>6. The property has historical value or associative value because it demonstrates or reflects the work or ideas of an architect, artist, builder, designer or theorist who is significant to a community.</p> <p><i>* Additional archival work may be required.</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input checked="" type="checkbox"/></p>
<p>7. The property has contextual value because it is important in defining, maintaining or supporting the character of an area.</p> <p><i>* E.g. - It helps to define an entrance point to a</i></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>	<p>N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/></p> <p>Yes <input type="checkbox"/></p>

<i>neighbourhood or helps establish the (historic) rural character of an area.</i>		
8. The property has contextual value because it is physically, functionally, visually or historically linked to its surroundings. <i>* Additional archival work may be required.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
9. The property has contextual value because it is a landmark. <i>*within the region, city or neighborhood.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>

Notes

Additional Criteria	Recorder	Heritage Kitchener Committee
Interior: Is the interior arrangement, finish, craftsmanship and/or detail noteworthy?	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>
Completeness: Does this structure have other original outbuildings, notable landscaping or external features that complete the site?	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
Site Integrity: Does the structure occupy its original site? <i>* If relocated, is it relocated on its original site, moved from another site, etc.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
Alterations: Does this building retain most of its original materials and design features? Please refer to the list of heritage attributes within the Statement of Significance and indicate which elements are still existing and which ones have been removed.	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>

Alterations: Are there additional elements or features that should be added to the heritage attribute list?	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/>
Condition: Is the building in good condition? <i>*E.g. - Could be a good candidate for adaptive re-use if possible and contribute towards equity-building and climate change action.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/>
Indigenous History: Could this site be of importance to Indigenous heritage and history? <i>*E.g. - Site within 300m of water sources, near distinct topographical land, or near cemeteries might have archaeological potential and indigenous heritage potential.</i> Could there be any urban Indigenous history associated with the property? <i>* Additional archival work may be required.</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required	N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required N/A <input type="checkbox"/> Unknown <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required
Function: What is the present function of the subject property? <i>* Other may include vacant, social, institutional, etc. and important for the community from an equity building perspective.</i>	Unknown <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Office <input type="checkbox"/> Other <input type="checkbox"/> - _____	Unknown <input type="checkbox"/> Residential <input type="checkbox"/> Commercial <input type="checkbox"/> Office <input type="checkbox"/> Other <input checked="" type="checkbox"/> Religious _____
Diversity and Inclusion: Does the subject property contribute to the cultural heritage of a community of people? Does the subject property have intangible value to a specific community of people? <i>* E.g.- Waterloo Masjid (Muslim Society of Waterloo & Wellington Counties) was the first established Islamic Center</i>	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> <input type="checkbox"/> Additional Research Required	N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> <input type="checkbox"/> Additional Research Required N/A <input type="checkbox"/> Unknown <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> <input type="checkbox"/> Additional Research Required

and Masjid in the Region and contributes to the history of the Muslim community in the area.		
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Notes about Additional Criteria Examined

Recommendation

Does this property meet the definition of a significant built heritage resource, and should it be designated under Part IV of the Ontario Heritage Act? (Does it meet two or more of the designation criteria?)

N/A ☐ Unknown ☐ No ☐ Yes ☒

If not, please select the appropriate action for follow-up

- ☐ Keep on the Municipal Heritage Register
- ☐ Remove from the Municipal Heritage Register
- ☐ Additional Research Required

Other: _____

General / Additional Notes

TO BE FILLED BY HERITAGE PLANNING STAFF: _____

Date of Property Owner Notification: _____

2025 HERITAGE PERMIT APPLICATIONS (HPA)

Legend: Unanimously approved by Heritage Kitchener permits an HPA to be approved through delegated authority.

#	Application Number	Property Address	Date Complete	Staff Report #	HK Meeting	Heritage Kitchener Recommendation	Council Meeting Date / Delegated Approval	HPA Description
1	HPA-2025-V-001	21 St. Leger St		DSD-2025-075	4-Mar-25	Carried	7-Apr-25	Repairs and Reconstruction of Porch
2								
3	HPA-2025-IV-003	107 Courtland Ave E		DSD-2025-024	4-Feb-25	Carried	10-Feb-25	Replacement of 22 Windows and Front Doors on Front Façade
4	HPA-2025-V-004	54 Benton St		DSD-2025-191	6-May-25	Carried	Delegated Approval	Alterations to Two Sanctuary Windows
5	HPA-2025-IV-005	122 Frederick St		DSD-2025-192	6-May-25	Carried	26-May-25	Alterations to Exterior Limestone Steps
6	HPA-2025-IV-006	122 Frederick St		DSD-2025-193	6-May-25	Carried	26-May-25	Alterations to Interior Marble Steps
7	HPA-2025-V-007	279 Queen St S		DSD-2025-172	6-May-25	Carried	26-May-25	Replacement of Windows and Repainting of Exterior Elements
8	HPA-2025-V-008	14 Hermie Pl		-	-		Delegated Approval	Replacement of Vinyl Siding in the Front and Rear Gable Ends
9	HPA-2025-V-009	1404 Doon Village Rd		DSD-2025-189	6-May-25	Carried	26-May-25	Minor Demolition and Rear Yard Addition
10	HPA-2025-IV-010	60 Victoria St N		DSD-2025-173	6-May-25	Carried	26-May-25	Demolition of Additions with Retention in Full of 1913 Building
11	HPA-2025-IV-011	122 Frederick St		DSD-2025-242	3-Jun-25	Unanimous	Delegated Approval	Repairs to Carved Limestone Parapet and Capstones
12	HPA-2025-IV-012	119 Arlington Blvd		DSD-2025-247	3-Jun-25	Unanimous	Delegated Approval	Repairs to Exterior Steps and Cleaning of Exterior of the Building
13	HPA-2025-V-013	1366 Doon Village Rd					Delegated Approval	Sidewalk Installation along either side of Doon South Drive between Doon Village Road and Homer Watson Boulevard
14	HPA-2025-V-014	59 Park St			5-Aug-25	Unanimous	Delegated Approval	Demolition of an attached garage and detached shed
15	HPA-2025-V-015	11 Roy St & 68 Queen St		DSD-2025-324	5-Aug-25	Carried	25-Aug-25	Demolition of single detached building.
16	HPA-2025-V-016	11 Roy St & 68 Queen St		DSD-2025-324	5-Aug-25	Carried	25-Aug-25	Demolition of single detached building.
17	HPA-2025-V-017	57 Jubilee Drive		DSD-2025-333	11-Aug-25	Carried	11-Aug-25	To permit a rear addition
18	HPA-2025-V-019	49 Michael Street		DSD-2025-397	7-Oct-25	Unanimous	Delegated Approval	Demolition of one-storey rear addition
19	HPA-2025-V-20	Victoria Park Picnic Shelter		DSD-2025-436	4-Nov-25	Carried	10-Nov-25	Demolition of picnic shelter.
20	HPA-2025-IV-024	1385 Bleams Road		DSD-2025-462	2-Dec-25	Carried	15-Dec-25	Demolition of shed, two additions and belfry
21	HPA-2025-V-025	50-56 Weber Street West and 107 Young Street		DSD-2025-464	2-Dec-25	Carried	15-Dec-25	Demolition of rear porch & construction of 8 storey building
22	HPA-2025-IV-026	115-119 King Street West		DSD-2025-473	2-Dec-25	Unanimous	Delegated Approval	Repairs of front facade